



**BUREAU
VERITAS**

FACILITY CONDITION ASSESSMENT

prepared for

Gilroy Unified School District

7810 Arroyo Circle

Gilroy, CA 95020



Rod Kelley Elementary School

8755 Kern Avenue

Gilroy, CA 95020

PREPARED BY:

Bureau Veritas

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BV PROJECT #:

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DATE OF REPORT:

August 11, 2025

ON SITE DATE:

July 31, 2025

Bureau Veritas

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1. Executive Summary

Campus Overview and Assessment Details

General Information	
Property Type	Elementary School
Number of Buildings	18
Main Address	8755 Kern Avenue, Gilroy, CA 95020
Site Developed	1988
Outside Occupants / Leased Spaces	Solar system
Date(s) of Visit	July 31, 2025
Management Point of Contact	AEDIS Architects Joe Vela, Associate Principal 4083005160 Jvela@aedisarchitects.com
On-site Point of Contact (POC)	Marissa Van Patten
Assessment & Report Prepared By	Arezou Masoumi
Reviewed By	Sean Luxem <i>for</i> , Gregg Young Program Manager 979.270.0024 Gregg.Young@bureauveritas.com
AssetCalc Link	Full dataset for this assessment can be found at: https://www.assetcalc.net/



Campus Findings and Deficiencies

Historical Summary

Rod Kelley Elementary School, located at 8755 Kern Avenue, Gilroy, CA 95020, was constructed between 1987 and 1988, with additional development in 2013. The campus includes a total of 18 buildings.

Architectural

The majority of architectural elements are original and in fair condition. Structural components are in good condition. The exterior building envelope was repainted this year and is in good condition. No major issues were observed; routine maintenance is recommended.

Mechanical, Electrical, Plumbing and Fire (MEPF)

The majority of the MEPF systems and components are original. Heating and cooling are provided by rooftop packaged units and wall-mounted heat pumps. A gas water heater provides hot water for the kitchen. A main switchboard distributes power to local distribution panels in each building. The core building is protected by both fire alarm and fire sprinkler systems, while the rest of the buildings have only fire alarm systems. Fire suppression retrofit is recommended for those buildings. Lifecycle replacement of the MEPF systems and pool equipment is anticipated.

Site

In general, the site is well maintained. Landscaping is moderate and served by in-ground irrigation. Asphalt-paved parking areas and drive aisles are in fair condition, with adequate lighting throughout. Play surfaces are upgraded and in good condition. The only notable issue is an uneven sidewalk located next to the kindergarten entrance, which presents a safety concern and should be addressed.

Recommended Additional Studies

No additional studies recommended at this time.

Facility Condition Index (FCI)

One of the major goals of the FCA is to calculate the Facility Condition Index (FCI), which provides a theoretical objective indication of a facility’s overall condition. The FCI is defined as the ratio of the cost of current needs divided by the current replacement value (CRV) of the facility. The chart below presents the industry standard ranges and cut-off points.

FCI Ranges and Description	
0 – 5%	In new or well-maintained condition, with little visual evidence of wear or deficiencies.
5 – 10%	Subjected to wear but is still in a serviceable and functioning condition.
10 – 30%	Subjected to hard or long-term wear. Nearing the end of its useful or serviceable life.
30% and above	Has reached the end of its useful or serviceable life. Renewal is now necessary.

The deficiencies and lifecycle needs identified in this assessment provide the basis for a portfolio-wide capital improvement funding strategy. In addition to the current FCI, extended FCI’s have been developed to provide owners the intelligence needed to plan and budget for the “keep-up costs” for their facilities. As such the 3-year, 5-year, and 10-year FCI’s are calculated by dividing the anticipated needs of those respective time periods by current replacement value. As a final point, the FCI’s ultimately provide more value when used to relatively compare facilities across a portfolio instead of being over-analyzed and scrutinized as stand-alone mathematical values. The table below presents the current, 3-year, 5-year, and 10-year FCI’s for this facility:

Facility	Cost/SF	Total SF	Replacement Value	Current	3-Year	5-Year	10-Year
Building A	\$550	5,760	\$3,168,000	0%	0%	16.1%	23.9%
Building B	\$550	6,560	\$3,608,000	0%	0%	13.2%	18.4%
Building C	\$550	6,560	\$3,608,000	0%	0%	14.6%	18.4%
Building D	\$550	3,307	\$1,818,850	0%	2.0%	14.0%	14.7%
Building E	\$550	11,074	\$6,090,700	0%	4.4%	17.8%	18.7%
Building F	\$550	1,000	\$550,000	0%	5.7%	19.4%	20.3%
Building G	\$550	3,711	\$2,041,050	0%	0.6%	3.6%	13.7%
Building H	\$550	5,500	\$3,025,000	0%	0%	13.9%	17.4%
Portable 1	\$350	2,000	\$700,000	0%	0%	27.0%	31.2%
Portable 10	\$350	2,000	\$700,000	0%	0%	16.2%	21.9%

Facility	Cost/SF	Total SF	Replacement Value	Current	3-Year	5-Year	10-Year
Portable 2	\$350	1,000	\$350,000	0%	0%	16.5%	19.4%
Portable 3	\$350	1,000	\$350,000	0%	0%	16.5%	19.4%
Portable 4	\$350	1,000	\$350,000	0%	0%	14.8%	17.7%
Portable 5	\$350	1,000	\$350,000	0%	0%	13.0%	15.9%
Portable 6	\$350	1,000	\$350,000	0%	0%	10.3%	13.7%
Portable 7	\$350	1,000	\$350,000	0%	0%	11.1%	14.1%
Portable 8	\$350	1,000	\$350,000	0%	0%	14.0%	16.9%
Portable 9	\$350	1,000	\$350,000	0%	0%	15.9%	18.9%
Site	\$0	0	\$0	%	%	%	%
Rod Kelley Elementary School	\$0	55,472	\$0	%	%	%	%



Immediate Needs

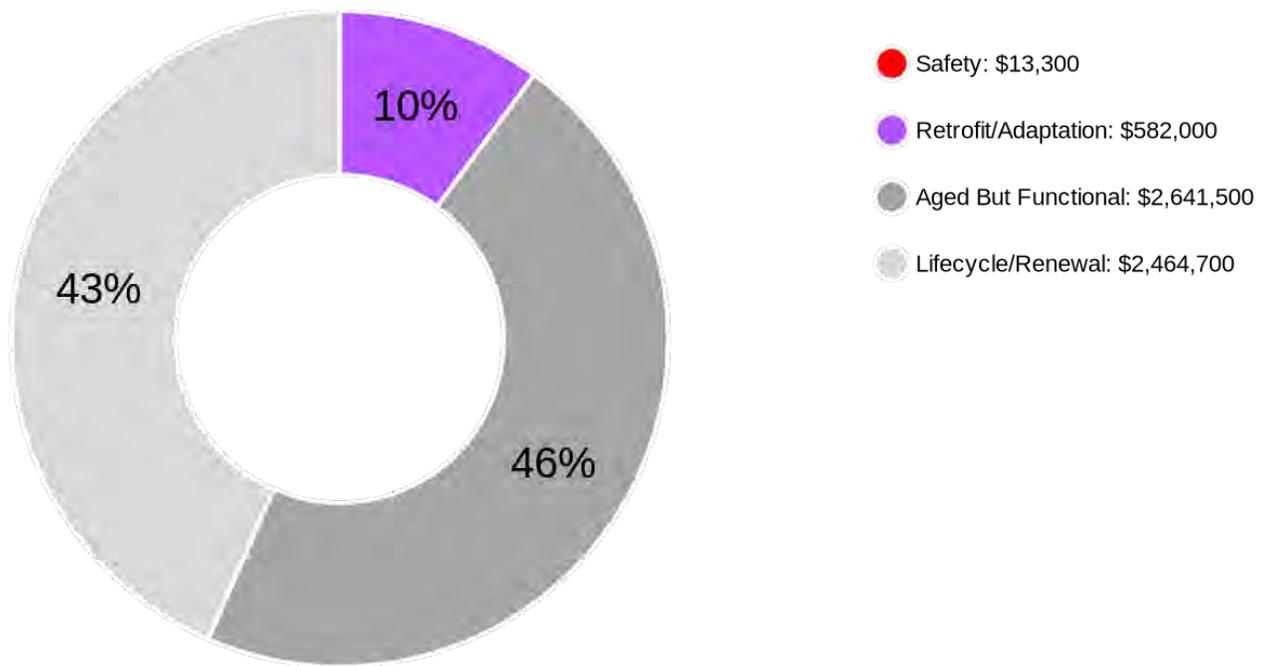
There are no immediate needs to report.

Plan Types

Each line item in the cost database is assigned a Plan Type, which is the primary reason or rationale for the recommended replacement, repair, or other corrective action. This is the “why” part of the equation. A cost or line item may commonly have more than one applicable Plan Type; however, only one Plan Type will be assigned based on the “best” fit, typically the one with the greatest significance and highest on the list below.

Plan Type Descriptions & Distribution

Safety	■	An observed or reported unsafe condition that if left unaddressed could result in injury; a system or component that presents potential liability risk.
Performance/Integrity	■	Component or system has failed, is almost failing, performs unreliably, does not perform as intended, and/or poses risk to overall system stability.
Accessibility	■	Does not meet ADA, UFAS, and/or other accessibility requirements.
Environmental	■	Improvements to air or water quality, including removal of hazardous materials from the building or site.
Retrofit/Adaptation	■	Components, systems, or spaces recommended for upgrades in order to meet current standards, facility usage, or client/occupant needs.
Aged But Functional	■	Any component or system that has aged past its industry-average expected useful life (EUL) but is not currently deficient or problematic.
Lifecycle/Renewal	■	Any component or system that is neither deficient nor aged past EUL but for which future replacement or repair is anticipated and budgeted.



10-Year Total: \$5,701,600

2. Building A



Building A: Building Systems Summary		
Address	8755 Kern Avenue, Gilroy, CA 95020	
GPS Coordinates	37.3326639, -121.8918364	
Constructed/Renovated	1988	
Building Area	5,760 SF	
Number of Stories	1 above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure over concrete slab foundation	Good
Facade	Wall Finish: Stucco Windows: Aluminum	Fair
Roof	Primary: Gable construction with asphalt shingles Secondary: Flat construction with Modified Bitumen	Fair
Interiors	Walls: Wallpaper Floors: Carpet Ceilings: ACT	Fair
Elevators	None	n/a
Plumbing	Distribution: Copper supply and cast-iron waste & venting Hot Water: None Fixtures: Sinks	Fair

Building A: Building Systems Summary		
HVAC	Non-Central System: Packaged units	Fair
Fire Suppression	Fire extinguishers	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: LED and linear fluorescent	Fair
Fire Alarm	Alarm panel with smoke detectors, alarms, strobes, pull stations, and exit signs	Fair
Equipment/Special	None	n/a
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	Most of the interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the building, the exterior walls of the facility, and the roof. However, the flat roof and roof top units were not observed.	
Key Spaces Not Observed	All key areas of the facility were accessible and observed.	

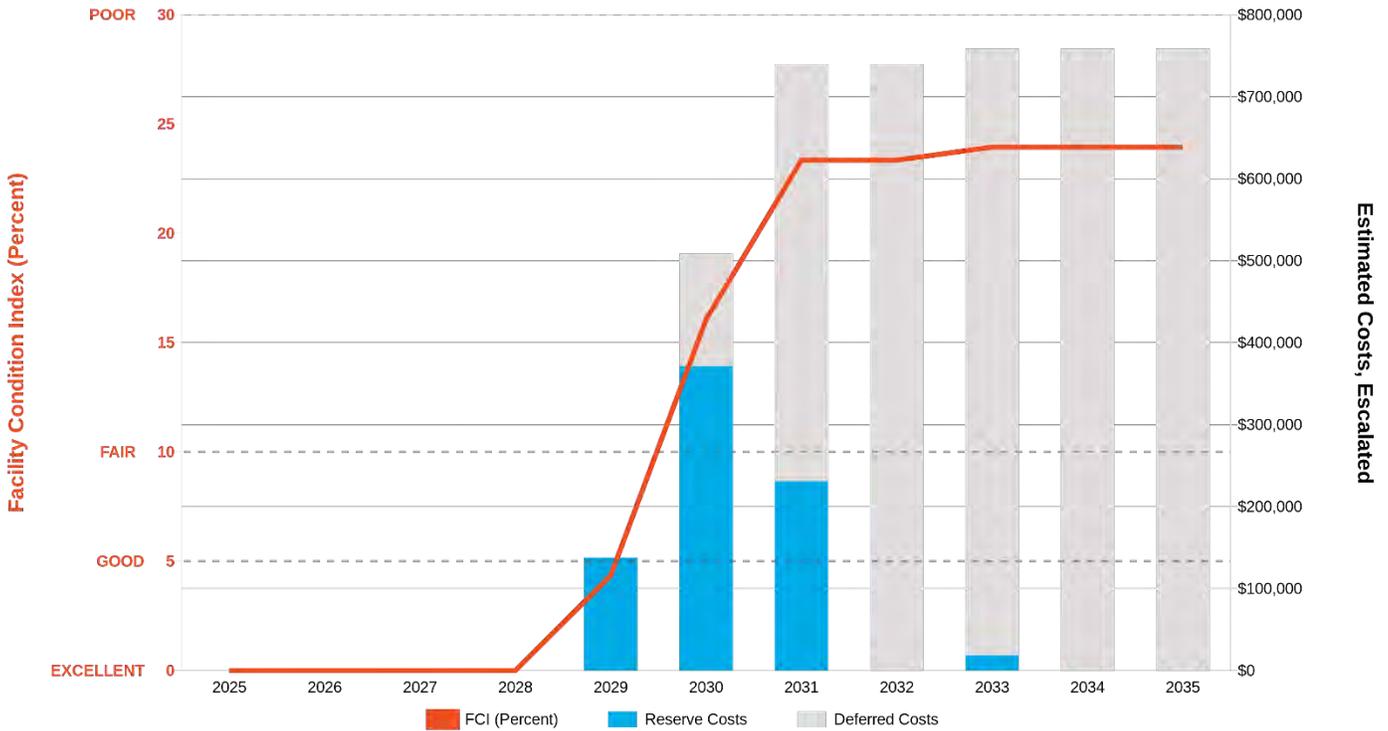
The table below shows the anticipated costs by trade or building system over the next 20 years.

Building A: System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	\$0	\$0	\$0	\$108,961	\$25,267	\$134,228
Roofing	\$0	\$0	\$0	\$58,231	\$0	\$58,231
Interiors	\$0	\$0	\$114,634	\$0	\$118,545	\$233,179
Plumbing	\$0	\$0	\$47,729	\$0	\$0	\$47,729
HVAC	\$0	\$0	\$15,731	\$69,203	\$0	\$84,934
Fire Protection	\$0	\$0	\$23,597	\$0	\$0	\$23,597
Electrical	\$0	\$0	\$22,369	\$0	\$22,199	\$44,568
Fire Alarm & Electronic Systems	\$0	\$0	\$38,870	\$13,367	\$23,795	\$76,032
Equipment & Furnishings	\$0	\$0	\$245,812	\$0	\$0	\$245,812
TOTALS	\$0	\$0	\$508,800	\$249,800	\$189,900	\$948,500

NEEDS OVER TIME: The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.

Needs by Year with Unaddressed FCI Over Time

Replacement Value: \$3,168,000.00 Inflation Rate: 3% Average Needs (per year - over next 10 years): \$68,954.00



Immediate Needs

There are no immediate needs to report.

Key Findings



Fire Suppression System

Full System Install/Retrofit, Low
Density/Complexity
Building A
Throughout Building

Uniformat Code: D4010
Recommendation: **Renovate in 2030**

Plan Type:
Retrofit/Adaptation

Cost Estimate: \$20,400

The building lacks a fire suppression system, and the school is likely "grandfathered" based on code at the time of original construction. A comprehensive building renovation would likely trigger full compliance to current codes, and a budgetary cost for a full fire suppression retrofit is included in the initial five-year plan. -
AssetCALC ID: 9593709

Building A: Photographic Overview



1 – FRONT ELEVATION



2 – RIGHT ELEVATION



3 – LEFT ELEVATION



4 – REAR ELEVATION



5 – CLASSROOM ENTRANCE



6 – CLASSROOM INTERIOR

3. Building B



Building B: Building Systems Summary

Address	8755 Kern Avenue, Gilroy, CA 95020	
GPS Coordinates	37.3326639, -121.8918364	
Constructed/Renovated	1988	
Building Area	6,560 SF	
Number of Stories	1 above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure over concrete slab foundation	Good
Facade	Wall Finish: Stucco Windows: Aluminum	Fair
Roof	Primary: Gable construction with asphalt shingles Secondary: Flat construction with Modified Bitumen	Fair
Interiors	Walls: Wallpaper and Laminated Paneling (FRP) Floors: Carpet and ceramic tiles Ceilings: ACT	Fair
Elevators	None	n/a
Plumbing	Distribution: Copper supply and cast-iron waste & venting Hot Water: None Fixtures: Toilets, urinals, and sinks	Fair

Building B: Building Systems Summary		
HVAC	Non-Central System: Packaged units	Fair
Fire Suppression	Fire extinguishers	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: LED and linear fluorescent	Fair
Fire Alarm	Alarm panel with smoke detectors, alarms, strobes, pull stations, and exit signs	Fair
Equipment/Special	None	n/a
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	Most of the interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the building, the exterior walls of the facility, and the roof. However, the flat roof and roof top units were not observed.	
Key Spaces Not Observed	All key areas of the facility were accessible and observed.	

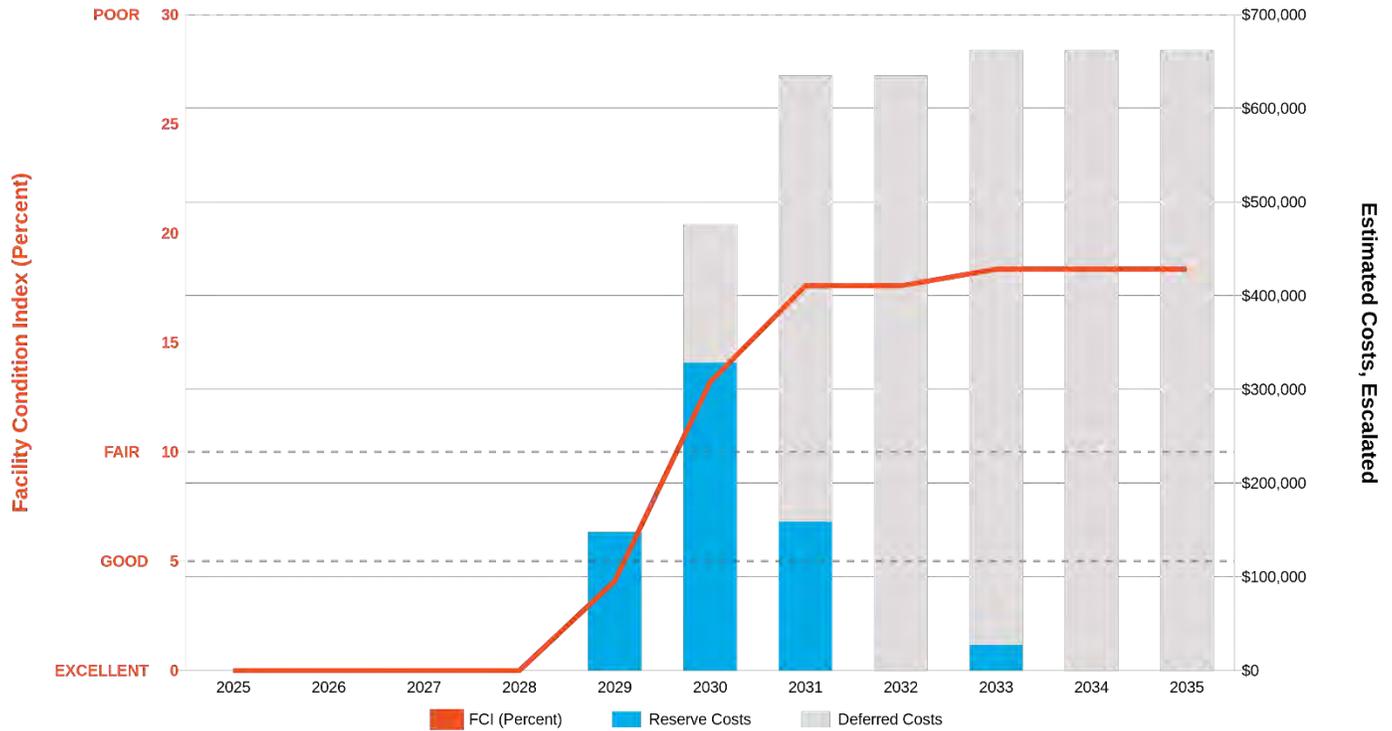
The table below shows the anticipated costs by trade or building system over the next 20 years.

Building B: System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	\$0	\$0	\$7,374	\$112,405	\$36,699	\$156,478
Roofing	\$0	\$0	\$63,363	\$0	\$0	\$63,363
Interiors	\$0	\$0	\$151,063	\$0	\$130,745	\$281,808
Plumbing	\$0	\$0	\$63,500	\$17,862	\$3,098	\$84,460
HVAC	\$0	\$0	\$0	\$18,454	\$0	\$18,454
Fire Protection	\$0	\$0	\$125,418	\$9,872	\$0	\$135,290
Electrical	\$0	\$0	\$33,213	\$0	\$59,200	\$92,413
Fire Alarm & Electronic Systems	\$0	\$0	\$32,174	\$27,681	\$27,100	\$86,955
TOTALS	\$0	\$0	\$476,200	\$186,300	\$256,900	\$919,400

NEEDS OVER TIME: The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.

Needs by Year with Unaddressed FCI Over Time

Replacement Value: \$3,608,000.00 Inflation Rate: 3% Average Needs (per year - over next 10 years): \$60,216.00



Immediate Needs

There are no immediate needs to report.

Key Findings



Fire Suppression System

Full System Install/Retrofit, Medium Density/Complexity
Building B
Throughout Building

Uniformat Code: D4010
Recommendation: **Renovate in 2030**

Plan Type:
Retrofit/Adaptation

Cost Estimate: \$108,200

The building lacks a fire suppression system and the school is likely "grandfathered" based on code at the time of original construction. A comprehensive building renovation would likely trigger full compliance to current codes, and a budgetary cost for a full fire suppression retrofit is included in the initial five-year plan. - AssetCALC ID: 9594167

Building B: Photographic Overview



1 – FRONT ELEVATION



2 – LEFT ELEVATION



3 – REAR ELEVATION



4 – RIGHT ELEVATION



5 – BUILDING ENTRANCES



6 – BUILDING INTERIOR

4. Building C



Building C: Building Systems Summary

Address	8755 Kern Avenue, Gilroy, CA 95020	
GPS Coordinates	37.3326639, -121.8918364	
Constructed/Renovated	1988	
Building Area	6,560 SF	
Number of Stories	1 above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure over concrete slab foundation	Good
Facade	Wall Finish: Stucco Windows: Aluminum	Fair
Roof	Primary: Gable construction with asphalt shingles Secondary: Flat construction with Modified Bitumen	Fair
Interiors	Walls: Wallpaper and Laminated Paneling (FRP) Floors: Carpet and ceramic tiles Ceilings: ACT	Fair
Elevators	None	n/a
Plumbing	Distribution: Copper supply and cast-iron waste & venting Hot Water: None Fixtures: Toilets, urinals, and sinks	Fair

Building C: Building Systems Summary		
HVAC	Non-Central System: Packaged units	Fair
Fire Suppression	Fire extinguishers	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: LED and linear fluorescent	Fair
Fire Alarm	Alarm panel with smoke detectors, alarms, strobes, pull stations, and exit signs	Fair
Equipment/Special	None	n/a
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	Most of the interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the building, the exterior walls of the facility, and the roof. However, the flat roof and roof top units were not observed.	
Key Spaces Not Observed	All key areas of the facility were accessible and observed.	

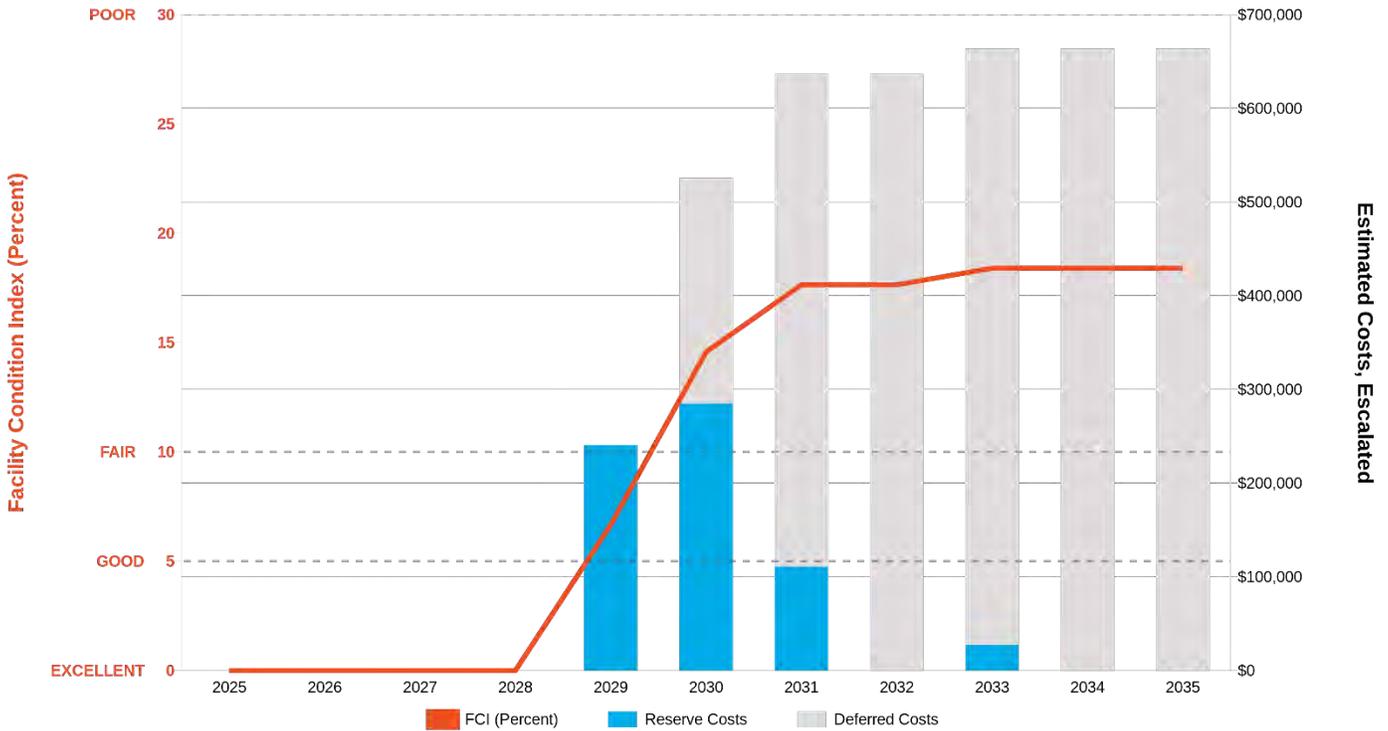
The table below shows the anticipated costs by trade or building system over the next 20 years.

Building C: System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	\$0	\$0	\$7,374	\$112,405	\$36,699	\$156,478
Roofing	\$0	\$0	\$47,796	\$16,034	\$0	\$63,830
Interiors	\$0	\$0	\$152,406	\$0	\$131,546	\$283,952
Plumbing	\$0	\$0	\$66,639	\$0	\$27,138	\$93,777
HVAC	\$0	\$0	\$35,833	\$0	\$0	\$35,833
Fire Protection	\$0	\$0	\$121,765	\$9,872	\$0	\$131,637
Electrical	\$0	\$0	\$34,851	\$0	\$587,140	\$621,991
Fire Alarm & Electronic Systems	\$0	\$0	\$59,049	\$0	\$27,100	\$86,149
TOTALS	\$0	\$0	\$525,800	\$138,400	\$809,700	\$1,473,900

NEEDS OVER TIME: The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.

Needs by Year with Unaddressed FCI Over Time

Replacement Value: \$3,608,000.00 Inflation Rate: 3% Average Needs (per year - over next 10 years): \$60,365.00



Immediate Needs

There are no immediate needs to report.

Key Findings



Fire Suppression System

Full System Install/Retrofit, Medium Density/Complexity
Building C
Throughout Building

Uniformat Code: D4010
Recommendation: **Renovate in 2029**

Plan Type:
Retrofit/Adaptation

Cost Estimate: \$108,200

The building lacks a fire suppression system and the school is likely "grandfathered" based on code at the time of original construction. A comprehensive building renovation would likely trigger full compliance to current codes, and a budgetary cost for a full fire suppression retrofit is included in the initial five-year plan. - AssetCALC ID: 9594202

Building C: Photographic Overview



1 – FRONT ELEVATION



2 – LEFT ELEVATION



3 – REAR ELEVATION



4 – RIGHT ELEVATION



5 – BUILDING ENTERANCE



6 – BUILDING INTERIOR

5. Building D



Building D: Building Systems Summary

Address	8755 Kern Avenue, Gilroy, CA 95020	
GPS Coordinates	37.3326639, -121.8918364	
Constructed/Renovated	1988	
Building Area	3,307 SF	
Number of Stories	1 above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure over concrete slab foundation	Good
Facade	Wall Finish: Stucco Windows: Aluminum	Fair
Roof	Primary: Gable construction with asphalt shingles Secondary: Flat construction with Modified Bitumen	Fair
Interiors	Walls: Wallpaper and Laminated Paneling (FRP) Floors: Carpet and ceramic tiles Ceilings: ACT and Paint	Fair
Elevators	None	n/a
Plumbing	Distribution: Copper supply and cast-iron waste & venting Hot Water: None Fixtures: Toilets and sinks	Fair

Building D: Building Systems Summary		
HVAC	Non-Central System: Packaged units	Fair
Fire Suppression	Wet-pipe sprinkler system and fire extinguishers	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: LED	Fair
Fire Alarm	Alarm panel with smoke detectors, alarms, strobes, pull stations, and exit signs	Fair
Equipment/Special	None	n/a
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	Most of the interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the building, the exterior walls of the facility, and the roof. However, the flat roof and roof top units were not observed.	
Key Spaces Not Observed	All key areas of the facility were accessible and observed.	

The table below shows the anticipated costs by trade or building system over the next 20 years.

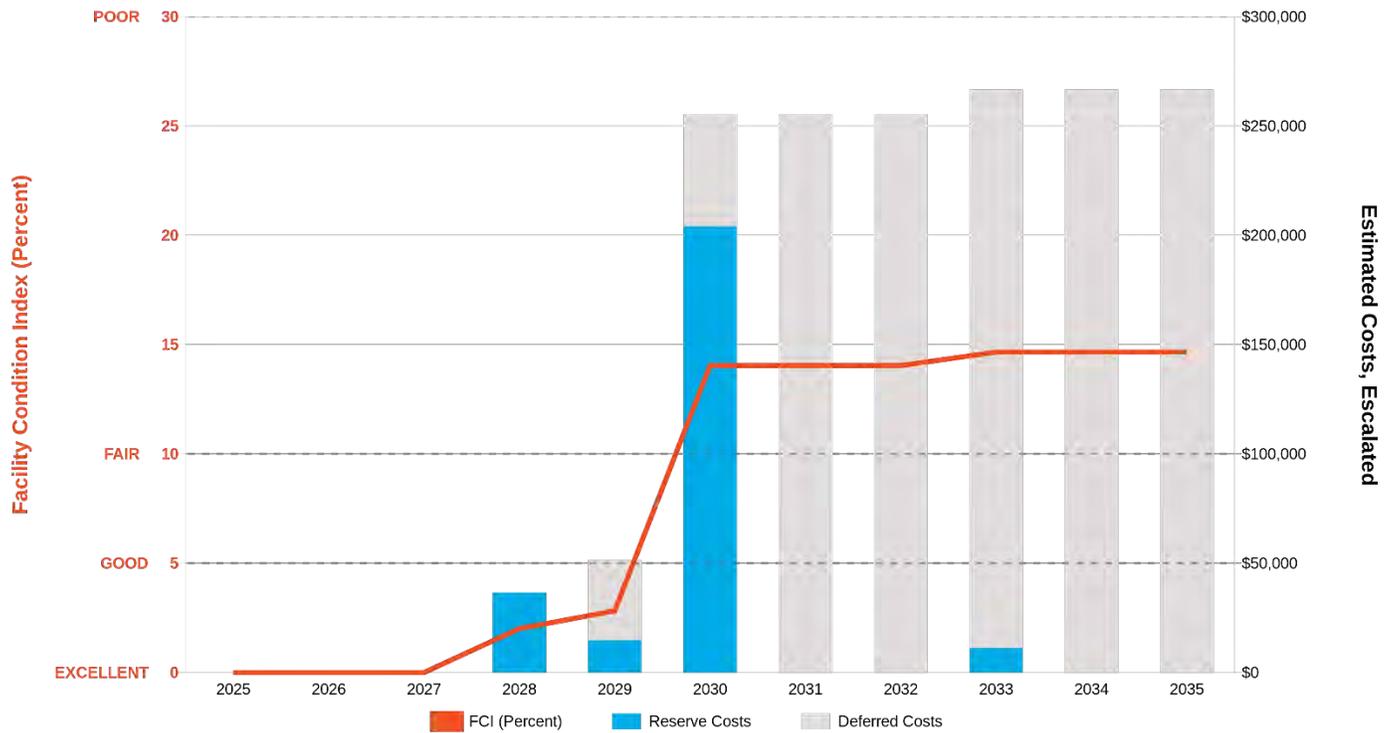
Building D: System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	\$0	\$0	\$34,958	\$11,191	\$15,040	\$61,189
Roofing	\$0	\$0	\$35,095	\$0	\$0	\$35,095
Interiors	\$0	\$0	\$66,368	\$0	\$60,167	\$126,535
Plumbing	\$0	\$0	\$38,985	\$0	\$2,477	\$41,462
HVAC	\$0	\$0	\$18,063	\$0	\$0	\$18,063
Fire Protection	\$0	\$0	\$18,378	\$0	\$0	\$18,378
Electrical	\$0	\$0	\$13,919	\$0	\$27,311	\$41,230
Fire Alarm & Electronic Systems	\$0	\$0	\$29,633	\$0	\$14,071	\$43,704
TOTALS	\$0	\$0	\$255,400	\$11,200	\$119,100	\$385,700



NEEDS OVER TIME: The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.

Needs by Year with Unaddressed FCI Over Time

Replacement Value: \$1,818,850.00 Inflation Rate: 3% Average Needs (per year - over next 10 years): \$24,235.00



Immediate Needs

There are no immediate needs to report.

Key Findings



Fire Suppression System

Full System Install/Retrofit, Low
Density/Complexity
Building D
Throughout Building

Uniformat Code: D4010
Recommendation: **Install in 2030**

Plan Type:
Retrofit/Adaptation

Cost Estimate: \$11,700

The building lacks a fire suppression system and the school is likely "grandfathered" based on code at the time of original construction. A comprehensive building renovation would likely trigger full compliance to current codes, and a budgetary cost for a full fire suppression retrofit is included in the initial five-year plan. - AssetCALC ID: 9600450

Building D: Photographic Overview



1 – FRONT ELEVATION



2 – RIGHT ELEVATION



3 – LEFT ELEVATION



4 – REAR ELEVATION



5 – CLASSROOM



6 – WORK ROOM

6. Building E



Building E: Building Systems Summary

Address	8755 Kern Avenue, Gilroy, CA 95020	
GPS Coordinates	37.3326639, -121.8918364	
Constructed/Renovated	1988	
Building Area	11,074 SF	
Number of Stories	1 above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure over concrete slab foundation	Good
Facade	Wall Finish: Stucco Windows: Aluminum	Fair
Roof	Primary: Gable construction with asphalt shingles Secondary: Flat construction with modified bituminous finish	Fair
Interiors	Walls: Wallpaper and Laminated Paneling (FRP) Floors: Carpet and ceramic tiles Ceilings: Painted and ACT	Fair
Elevators	None	n/a
Plumbing	Distribution: Copper supply and cast-iron waste & venting Hot Water: Gas water heaters with integral tanks Fixtures: Toilets, urinals, and sinks	Fair

Building E: Building Systems Summary		
HVAC	Non-Central System: Packaged units	Fair
Fire Suppression	Wet-pipe sprinkler system and fire extinguishers	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: LED and linear fluorescent	Fair
Fire Alarm	Alarm panel with smoke detectors, alarms, strobes, pull stations, and exit signs	Fair
Equipment/Special	Commercial kitchen equipment	Fair
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	Most of the interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the building, the exterior walls of the facility, and the roof. However, the flat roof and roof top units were not observed.	
Key Spaces Not Observed	All key areas of the facility were accessible and observed.	

The table below shows the anticipated costs by trade or building system over the next 20 years.

Building E: System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	\$0	\$0	\$88,511	\$25,687	\$34,521	\$148,719
Roofing	\$0	\$0	\$121,539	\$0	\$0	\$121,539
Interiors	\$0	\$0	\$249,293	\$0	\$176,668	\$425,961
Plumbing	\$0	\$0	\$97,940	\$24,770	\$4,957	\$127,667
HVAC	\$0	\$0	\$67,044	\$0	\$10,211	\$77,255
Fire Protection	\$0	\$0	\$16,181	\$0	\$0	\$16,181
Electrical	\$0	\$0	\$185,760	\$0	\$91,457	\$277,217
Fire Alarm & Electronic Systems	\$0	\$0	\$121,614	\$0	\$81,443	\$203,057
Equipment & Furnishings	\$0	\$0	\$139,255	\$0	\$63,270	\$202,525
TOTALS	\$0	\$0	\$1,087,200	\$50,500	\$462,600	\$1,600,300

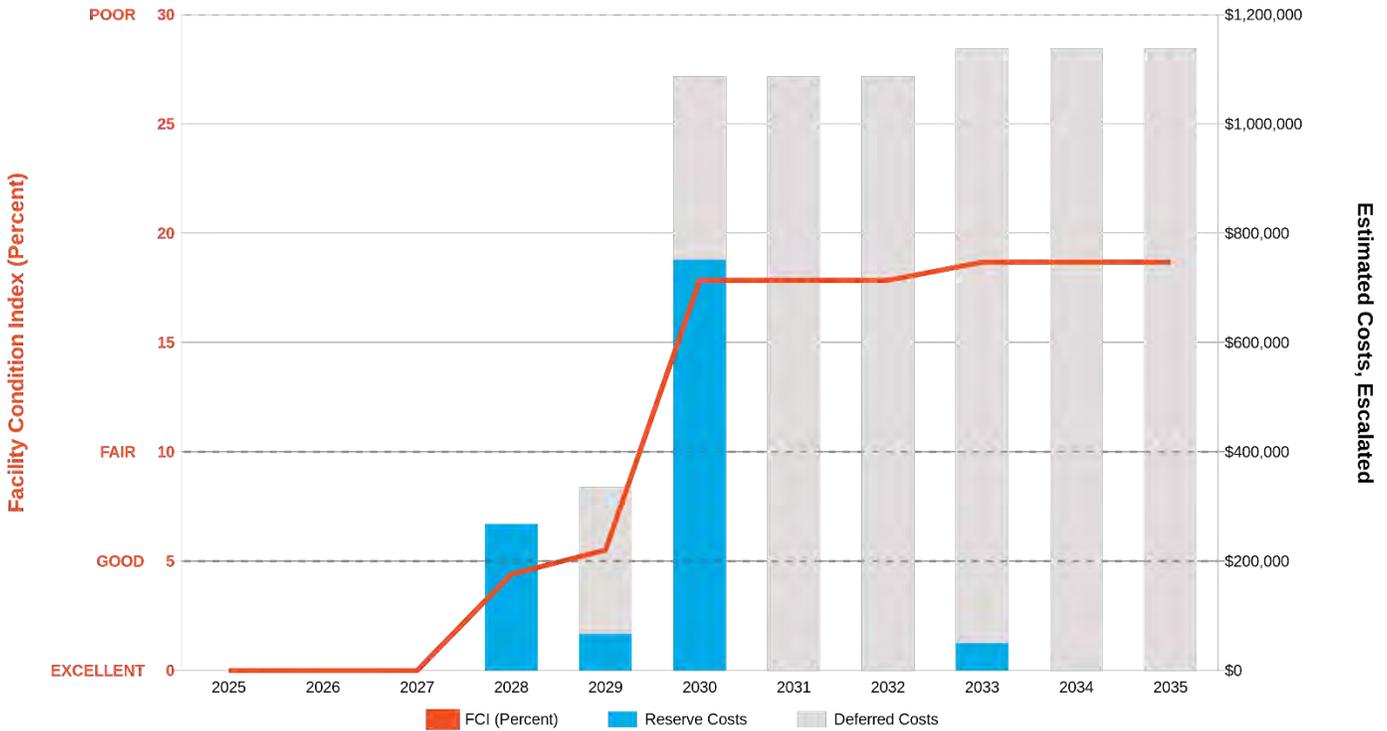
NEEDS OVER TIME: The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.

Needs by Year with Unaddressed FCI Over Time

Replacement Value: \$6,090,700.00

Inflation Rate: 3%

Average Needs (per year - over next 10 years): \$103,417.00



Immediate Needs

There are no immediate needs to report.

Key Findings

There are no key findings to report.

Building E: Photographic Overview



1 – LEFT ELEVATION



2 – REAR ELEVATION



3 – RIGHT ELEVATION



4 – FRONT ELEVATION



5 – FRONT DESK



6 – OFFICE



7 – KITCHEN



8 – MULTIPURPOSE ROOM



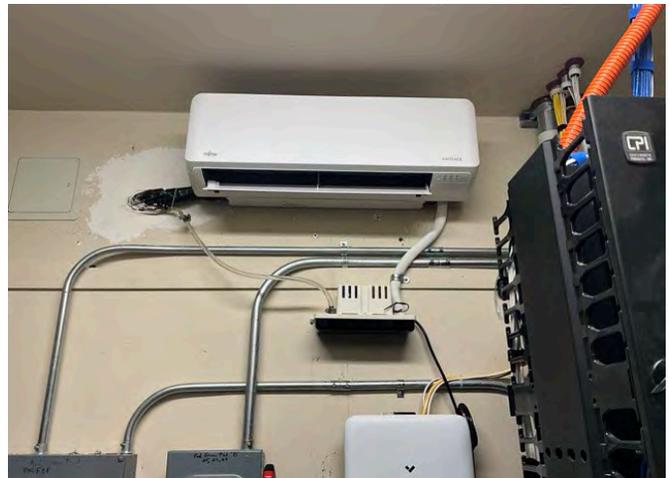
9 – BREAKROOM



10 – HALLWAYS



11 – WATER HEATER



12 – SPLIT SYSTEM

7. Building F



Building F: Building Systems Summary

Address	8755 Kern Avenue, Gilroy, CA 95020	
GPS Coordinates	37.3326639, -121.8918364	
Constructed/Renovated	1989	
Building Area	1,000 SF	
Number of Stories	1 above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure over concrete slab foundation	Good
Facade	Wall Finish: Wood siding Windows: Aluminum	Fair
Roof	Primary: Flat construction with metal finish	Fair
Interiors	Walls: Wall panel with tackboards Floors: Carpet Ceilings: ACT	Fair
Elevators	None	n/a
Plumbing	Distribution: Copper supply and cast-iron waste & venting Hot Water: None Fixtures: Sinks	Fair

Building F: Building Systems Summary		
HVAC	Wall mounted Heat pump	Fair
Fire Suppression	Fire extinguishers only	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: LED and linear fluorescent	Fair
Fire Alarm	Alarm panel with smoke detectors, alarms, strobes, pull stations and exit signs	Fair
Equipment/Special	None	n/a
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	Most of the interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the building, the exterior walls of the facility, and the roof.	
Key Spaces Not Observed	All key areas of the facility were accessible and observed.	

The table below shows the anticipated costs by trade or building system over the next 20 years.

Building F: System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	\$0	\$0	\$20,246	\$4,923	\$6,617	\$31,786
Roofing	\$0	\$0	\$17,348	\$0	\$0	\$17,348
Interiors	\$0	\$0	\$16,113	\$0	\$17,657	\$33,770
Plumbing	\$0	\$0	\$8,074	\$0	\$0	\$8,074
HVAC	\$0	\$0	\$12,972	\$0	\$0	\$12,972
Fire Protection	\$0	\$0	\$19,118	\$0	\$0	\$19,118
Electrical	\$0	\$0	\$3,764	\$0	\$10,027	\$13,791
Fire Alarm & Electronic Systems	\$0	\$0	\$9,079	\$0	\$4,255	\$13,334
TOTALS	\$0	\$0	\$106,800	\$5,000	\$38,600	\$150,400

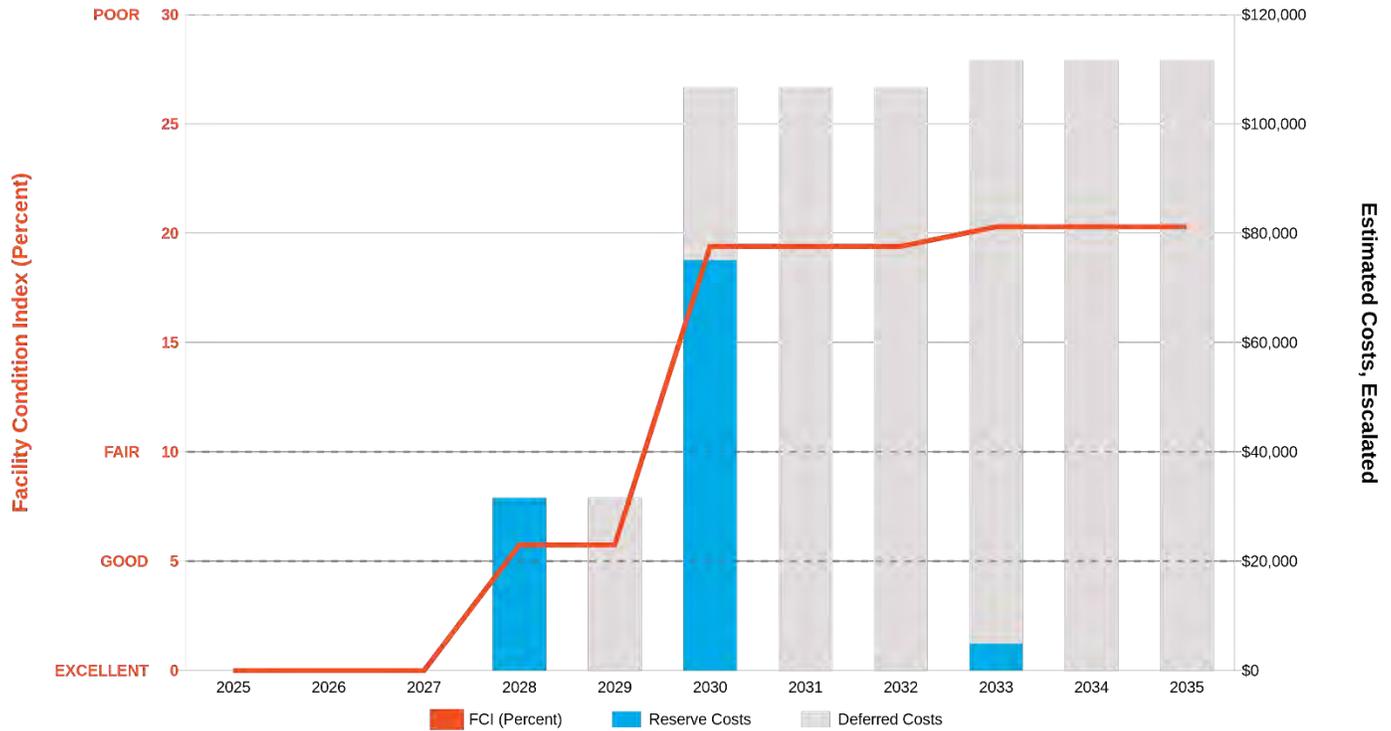
NEEDS OVER TIME: The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.

Needs by Year with Unaddressed FCI Over Time

Replacement Value: \$550,000.00

Inflation Rate: 3%

Average Needs (per year - over next 10 years): \$10,148.00



Immediate Needs

There are no immediate needs to report.

Key Findings



Fire Suppression System

Full System Install/Retrofit, Medium Density/Complexity
Building F
Throughout Building

Uniformat Code: D4010
Recommendation: **Renovate in 2030**

Plan Type:
Retrofit/Adaptation

Cost Estimate: \$16,500

The building lacks a fire suppression system and the school is likely "grandfathered" based on code at the time of original construction. A comprehensive building renovation would likely trigger full compliance to current codes, and a budgetary cost for a full fire suppression retrofit is included in the initial five-year plan. - AssetCALC ID: 9601403

Building F: Photographic Overview



1 – FRONT ELEVATION



2 – LEFT ELEVATION



3 – REAR ELEVATION



4 – INTERIOR BUILDING



5 – RESTROOM



6 – HEAT PUMP

8. Building G



Building G: Building Systems Summary

Address	8755 Kern Avenue, Gilroy, CA 95020	
GPS Coordinates	37.3326639, -121.8918364	
Constructed/Renovated	2013	
Building Area	3,711 SF	
Number of Stories	1 above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure over concrete slab foundation	Good
Facade	Primary Wall Finish: Metal siding Secondary Wall Finish: Stucco Windows: Aluminum	Fair
Roof	Gable construction with metal finish Sky light	Fair
Interiors	Walls: Painted Floors: Carpet and coated concrete Ceilings: Painted and wood paneling	Fair
Elevators	None	n/a
Plumbing	Distribution: Copper supply and cast-iron waste & venting Fixtures: Toilets, and sinks in restrooms	Fair

Building G: Building Systems Summary		
HVAC	Non-Central System: Packaged unit	Fair
Fire Suppression	Wet-pipe sprinkler system and fire extinguishers	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: LED, linear fluorescent, CFL	Fair
Fire Alarm	Alarm panel with smoke detectors, heat detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
Equipment/Special	None	n/a
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	Most of the interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the building, the exterior walls of the facility, and the roof.	
Key Spaces Not Observed	All key areas of the facility were accessible and observed.	

The table below shows the anticipated costs by trade or building system over the next 20 years.

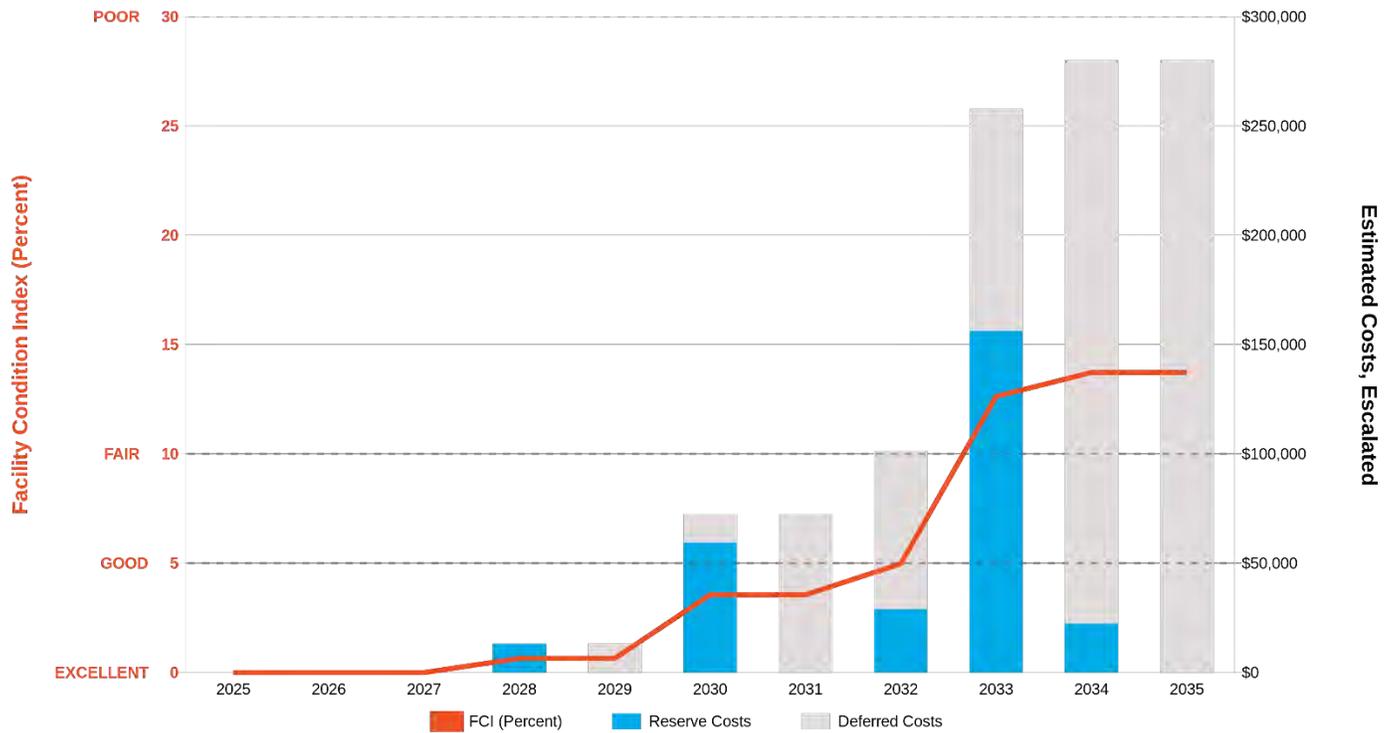
Building G: System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	\$0	\$0	\$0	\$22,340	\$129,390	\$151,730
Roofing	\$0	\$0	\$0	\$7,121	\$25,068	\$32,189
Interiors	\$0	\$0	\$61,847	\$0	\$103,078	\$164,925
Plumbing	\$0	\$0	\$1,158	\$0	\$13,834	\$14,992
HVAC	\$0	\$0	\$0	\$28,975	\$29,768	\$58,743
Fire Protection	\$0	\$0	\$0	\$0	\$6,868	\$6,868
Electrical	\$0	\$0	\$0	\$24,919	\$0	\$24,919
Fire Alarm & Electronic Systems	\$0	\$0	\$9,553	\$25,749	\$14,884	\$50,186
Equipment & Furnishings	\$0	\$0	\$0	\$98,488	\$0	\$98,488
TOTALS	\$0	\$0	\$72,600	\$207,600	\$322,900	\$603,100



NEEDS OVER TIME: The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.

Needs by Year with Unaddressed FCI Over Time

Replacement Value: \$2,041,050.00 Inflation Rate: 3% Average Needs (per year - over next 10 years): \$25,468.00



Immediate Needs

There are no immediate needs to report.

Key Findings

There are no key findings to report.



Building G: Photographic Overview



1 – FRONT ELEVATION



2 – LEFT ELEVATION



3 – REAR ELEVATION



4 – RIGHT ELEVATION



5 – BUILDING INTERIOR



6 – PACKAGED UNIT

9. Building H



Building H: Building Systems Summary

Address	8755 Kern Avenue, Gilroy, CA 95020	
GPS Coordinates	37.3326639, -121.8918364	
Constructed/Renovated	1989	
Building Area	5,500 SF	
Number of Stories	1 above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure over concrete slab foundation	Good
Facade	Wall Finish: Wood siding Windows: Aluminum	Fair
Roof	Primary: Flat construction with metal finish	Fair
Interiors	Walls: Wall panel with tackboards Floors: Carpet and VCT Ceilings: ACT	Fair
Elevators	None	n/a
Plumbing	Distribution: Copper supply and cast-iron waste & venting Hot Water: None Fixtures: Sinks	Fair

Building H: Building Systems Summary		
HVAC	Wall mounted Heat pumps	Fair
Fire Suppression	Fire extinguishers only	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: LED and linear fluorescent	Fair
Fire Alarm	Alarm panel with smoke detectors, alarms, strobes, pull stations and exit signs	Fair
Equipment/Special	None	n/a
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	Most of the interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the building, the exterior walls of the facility, and the roof.	
Key Spaces Not Observed	All key areas of the facility were accessible and observed.	

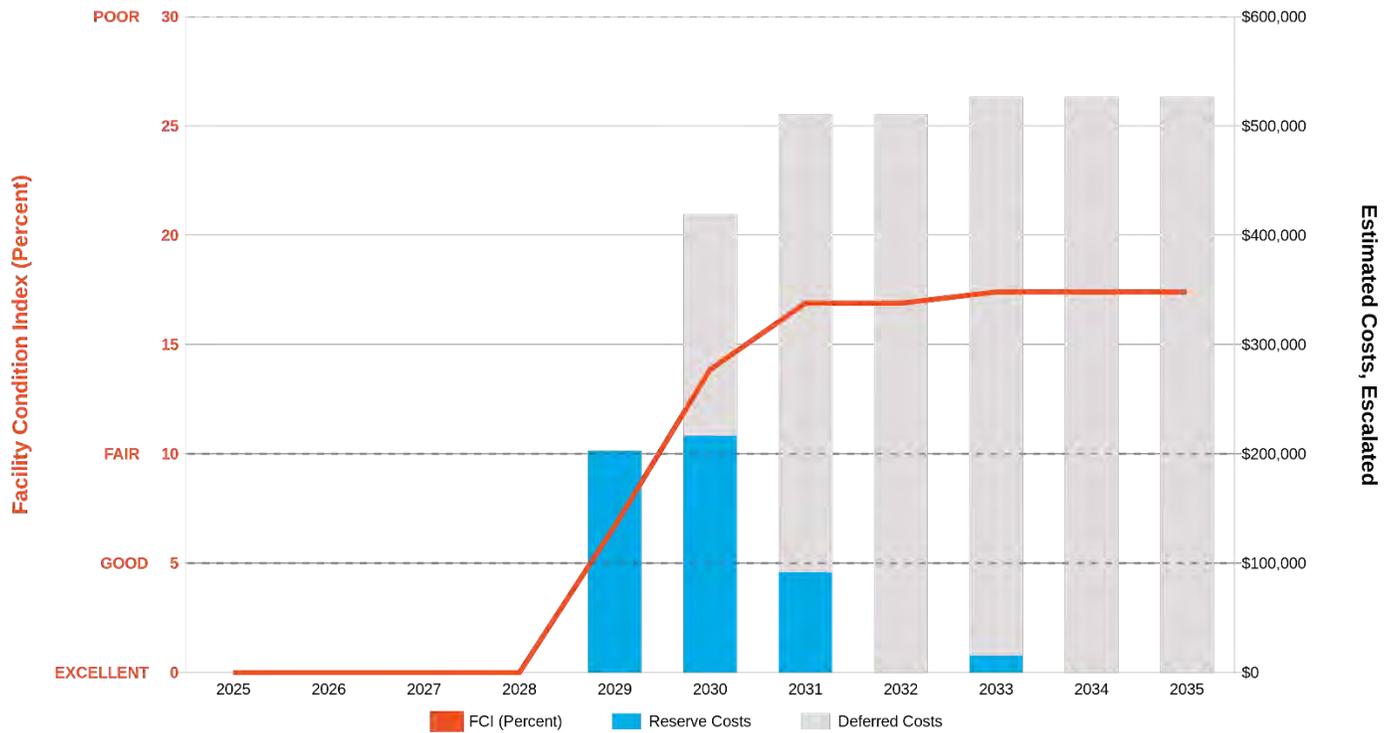
The table below shows the anticipated costs by trade or building system over the next 20 years.

Building H: System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	\$0	\$0	\$6,554	\$61,941	\$20,863	\$89,358
Roofing	\$0	\$0	\$94,798	\$0	\$0	\$94,798
Interiors	\$0	\$0	\$93,538	\$0	\$93,680	\$187,218
Plumbing	\$0	\$0	\$36,460	\$6,751	\$0	\$43,211
HVAC	\$0	\$0	\$0	\$15,472	\$0	\$15,472
Fire Protection	\$0	\$0	\$105,153	\$0	\$0	\$105,153
Electrical	\$0	\$0	\$21,506	\$0	\$49,634	\$71,140
Fire Alarm & Electronic Systems	\$0	\$0	\$40,725	\$23,208	\$26,059	\$89,992
Equipment & Furnishings	\$0	\$0	\$20,484	\$0	\$0	\$20,484
TOTALS	\$0	\$0	\$419,300	\$107,400	\$190,300	\$717,000

NEEDS OVER TIME: The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.

Needs by Year with Unaddressed FCI Over Time

Replacement Value: \$3,025,000.00 Inflation Rate: 3% Average Needs (per year - over next 10 years): \$47,871.00



Immediate Needs

There are no immediate needs to report.

Key Findings



Fire Suppression System

Full System Install/Retrofit, Medium Density/Complexity
Building H
Throughout Building

Uniformat Code: D4010
Recommendation: **Renovate in 2030**

Plan Type:
Retrofit/Adaptation

Cost Estimate: \$90,700

The building lacks a fire suppression system and the school is likely "grandfathered" based on code at the time of original construction. A comprehensive building renovation would likely trigger full compliance to current codes, and a budgetary cost for a full fire suppression retrofit is included in the initial five-year plan. - AssetCALC ID: 9606765

Building H: Photographic Overview



1 – FRONT ELEVATION



2 – LEFT ELEVATION



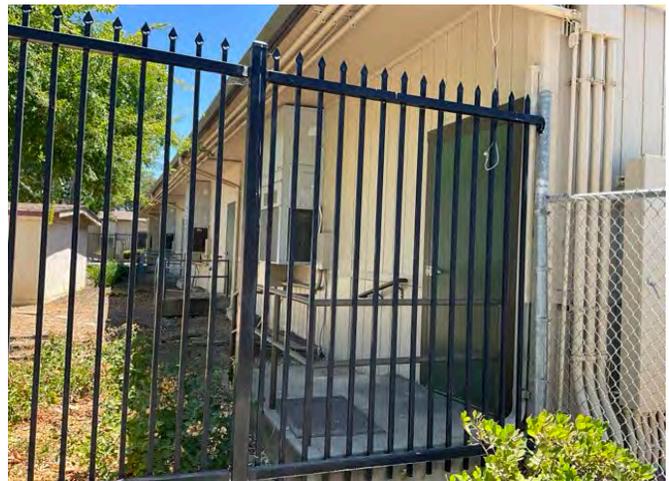
3 – REAR ELEVATION



4 – RIGHT ELEVATION



5 – BUILDING INTERIOR



6 – HEAT PUMPS

10. Portable 1



Portable 1: Building Systems Summary

Address	8755 Kern Avenue, Gilroy, CA 95020	
GPS Coordinates	37.3326639, -121.8918364	
Constructed/Renovated	1998	
Building Area	2,000 SF	
Number of Stories	1 above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure over concrete pier foundation	Good
Facade	Wall Finish: Wood siding Windows: Aluminum	Fair
Roof	Primary: Flat construction with metal finish	Fair
Interiors	Walls: Wallpaper and Laminate paneling Floors: Carpet and VCT Ceilings: ACT	Fair
Elevators	None	n/a
Plumbing	Distribution: Copper supply and cast-iron waste & venting Hot Water: None Fixtures: Toilets and Sinks	Fair

Portable 1: Building Systems Summary		
HVAC	Wall mounted Heat pumps	Fair
Fire Suppression	Fire extinguishers only	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: LED and linear fluorescent	Fair
Fire Alarm	Alarm panel with smoke detectors, heat detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
Equipment/Special	None	n/a
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	Most of the interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the building, the exterior walls of the facility, and the roof.	
Key Spaces Not Observed	All key areas of the facility were accessible and observed.	

The table below shows the anticipated costs by trade or building system over the next 20 years.

Portable 1: System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	\$0	\$0	\$10,765	\$29,923	\$9,024	\$49,712
Roofing	\$0	\$0	\$36,315	\$0	\$0	\$36,315
Interiors	\$0	\$0	\$67,107	\$0	\$40,815	\$107,922
HVAC	\$0	\$0	\$7,510	\$0	\$15,122	\$22,632
Fire Protection	\$0	\$0	\$38,237	\$0	\$0	\$38,237
Electrical	\$0	\$0	\$8,267	\$0	\$18,049	\$26,316
Fire Alarm & Electronic Systems	\$0	\$0	\$20,486	\$0	\$11,600	\$32,086
TOTALS	\$0	\$0	\$188,700	\$30,000	\$94,700	\$313,400

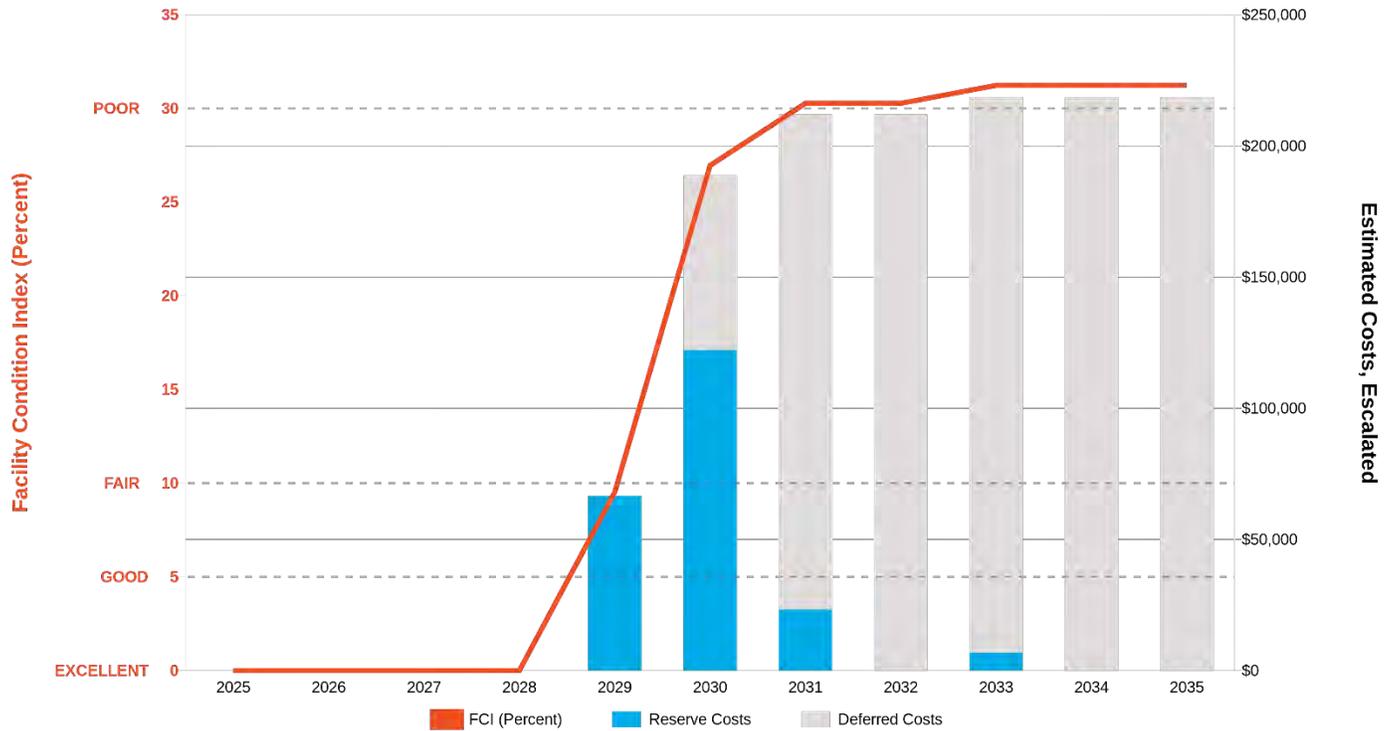
NEEDS OVER TIME: The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.

Needs by Year with Unaddressed FCI Over Time

Replacement Value: \$700,000.00

Inflation Rate: 3%

Average Needs (per year - over next 10 years): \$19,873.00



Immediate Needs

There are no immediate needs to report.

Key Findings



Fire Suppression System

Full System Install/Retrofit, Medium Density/Complexity
Portable 1
Throughout Building

Uniformat Code: D4010
Recommendation: **Renovate in 2030**

Plan Type:
Retrofit/Adaptation

Cost Estimate: \$33,000

The building lacks a fire suppression system and the school is likely "grandfathered" based on code at the time of original construction. A comprehensive building renovation would likely trigger full compliance to current codes, and a budgetary cost for a full fire suppression retrofit is included in the initial five-year plan. - AssetCALC ID: 9597337

Portable 1: Photographic Overview



1 – FRONT ELEVATION



2 – LEFT ELEVATION



3 – REAR ELEVATION



4 – RIGHT ELEVATION

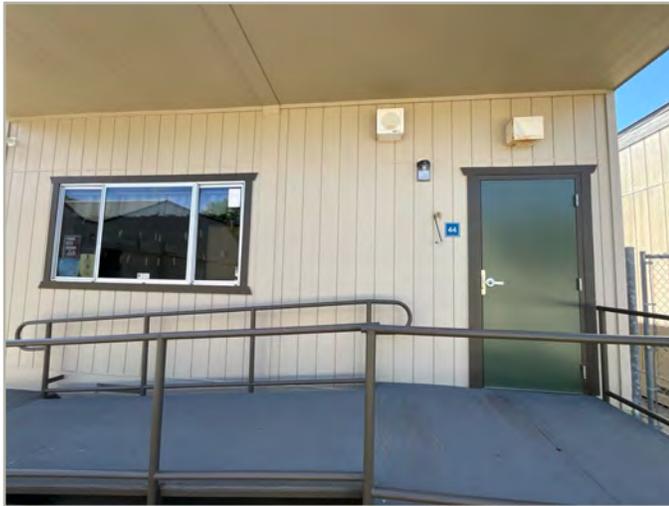


5 – BUILDING INTERIOR



6 – RAMP

11. Portable 2



Portable 2: Building Systems Summary

Address	8755 Kern Avenue, Gilroy, CA 95020	
GPS Coordinates	37.3326639, -121.8918364	
Constructed/Renovated	2009	
Building Area	1,000 SF	
Number of Stories	1 above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure over concrete pier foundation	Good
Facade	Wall Finish: Wood siding Windows: Aluminum	Fair
Roof	Primary: Flat construction with metal finish	Fair
Interiors	Walls: Wall panel with tackboards Floors: Carpet Ceilings: ACT	Fair
Elevators	None	n/a
Plumbing	Distribution: Copper supply and cast-iron waste & venting Hot Water: None Fixtures: Sinks	Fair

Portable 2: Building Systems Summary		
HVAC	Wall mounted Heat pump	Fair
Fire Suppression	Fire extinguishers only	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: LED	Fair
Fire Alarm	Alarm panel with smoke detectors, alarms, strobes, pull stations and exit signs	Fair
Equipment/Special	None	n/a
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	Most of the interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the building, the exterior walls of the facility, and the roof.	
Key Spaces Not Observed	All key areas of the facility were accessible and observed.	

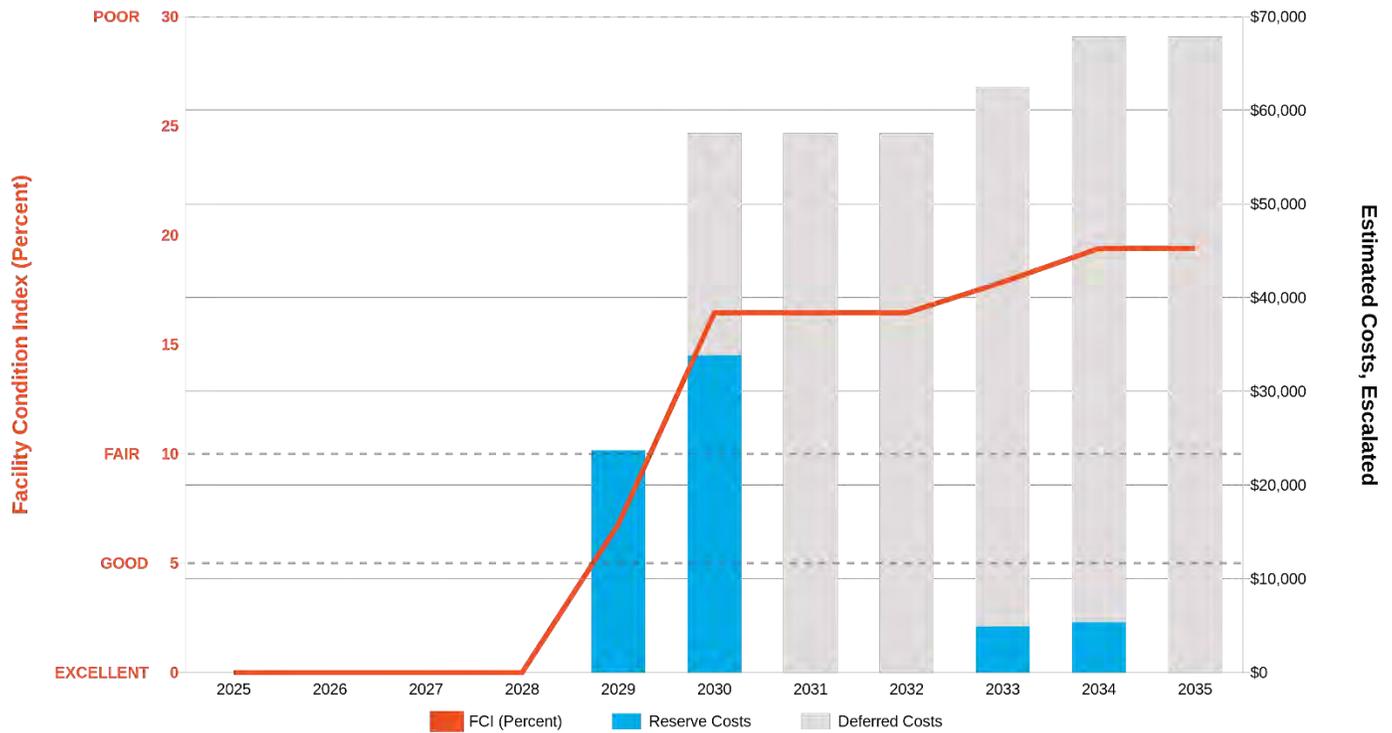
The table below shows the anticipated costs by trade or building system over the next 20 years.

Portable 2: System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	\$0	\$0	\$0	\$4,923	\$26,217	\$31,140
Roofing	\$0	\$0	\$596	\$0	\$0	\$596
Interiors	\$0	\$0	\$14,748	\$5,379	\$20,784	\$40,911
Plumbing	\$0	\$0	\$0	\$0	\$2,137	\$2,137
HVAC	\$0	\$0	\$7,292	\$0	\$7,127	\$14,419
Fire Protection	\$0	\$0	\$19,118	\$0	\$0	\$19,118
Electrical	\$0	\$0	\$1,060	\$0	\$10,027	\$11,087
Fire Alarm & Electronic Systems	\$0	\$0	\$10,802	\$0	\$4,131	\$14,933
Equipment & Furnishings	\$0	\$0	\$3,977	\$0	\$0	\$3,977
TOTALS	\$0	\$0	\$57,600	\$10,400	\$70,500	\$138,500

NEEDS OVER TIME: The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.

Needs by Year with Unaddressed FCI Over Time

Replacement Value: \$350,000.00 Inflation Rate: 3% Average Needs (per year - over next 10 years): \$6,172.00



Immediate Needs

There are no immediate needs to report.

Key Findings



Fire Suppression System

Full System Install/Retrofit, Medium Density/Complexity
Portable 2
Throughout Building

Uniformat Code: D4010
Recommendation: **Renovate in 2030**

Plan Type:
Retrofit/Adaptation

Cost Estimate: \$16,500

The building lacks a fire suppression system and the school is likely "grandfathered" based on code at the time of original construction. A comprehensive building renovation would likely trigger full compliance to current codes, and a budgetary cost for a full fire suppression retrofit is included in the initial five-year plan. - AssetCALC ID: 9602795

Portable 2: Photographic Overview



1 – FRONT ELEVATION



2 – LEFT ELEVATION



3 – REAR ELEVATION



4 – RIGHT ELEVATION



5 – BUILDING INTERIOR



6 – WALL MOUNTED HEAT PUMP

12. Portable 3



Portable 3: Building Systems Summary

Address	8755 Kern Avenue, Gilroy, CA 95020	
GPS Coordinates	37.3326639, -121.8918364	
Constructed/Renovated	2009	
Building Area	1,000 SF	
Number of Stories	1 above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure over concrete pier foundation	Good
Facade	Wall Finish: Wood siding Windows: Aluminum	Fair
Roof	Primary: Flat construction with metal finish	Fair
Interiors	Walls: Wall panel with tackboards Floors: Carpet Ceilings: ACT	Fair
Elevators	None	n/a
Plumbing	Distribution: Copper supply and cast-iron waste & venting Hot Water: None Fixtures: Sinks	Fair

Portable 3: Building Systems Summary		
HVAC	Wall mounted Heat pump	Fair
Fire Suppression	Fire extinguishers only	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: LED	Fair
Fire Alarm	Alarm panel with smoke detectors, alarms, strobes, pull stations and exit signs	Fair
Equipment/Special	None	n/a
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	Most of the interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the building, the exterior walls of the facility, and the roof.	
Key Spaces Not Observed	All key areas of the facility were accessible and observed.	

The table below shows the anticipated costs by trade or building system over the next 20 years.

Portable 3: System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	\$0	\$0	\$0	\$4,923	\$26,217	\$31,140
Roofing	\$0	\$0	\$596	\$0	\$0	\$596
Interiors	\$0	\$0	\$14,748	\$5,379	\$20,784	\$40,911
Plumbing	\$0	\$0	\$0	\$0	\$2,137	\$2,137
HVAC	\$0	\$0	\$7,292	\$0	\$7,127	\$14,419
Fire Protection	\$0	\$0	\$19,118	\$0	\$0	\$19,118
Electrical	\$0	\$0	\$1,060	\$0	\$10,027	\$11,087
Fire Alarm & Electronic Systems	\$0	\$0	\$10,882	\$0	\$4,255	\$15,137
Equipment & Furnishings	\$0	\$0	\$3,977	\$0	\$0	\$3,977
TOTALS	\$0	\$0	\$57,700	\$10,400	\$70,600	\$138,700

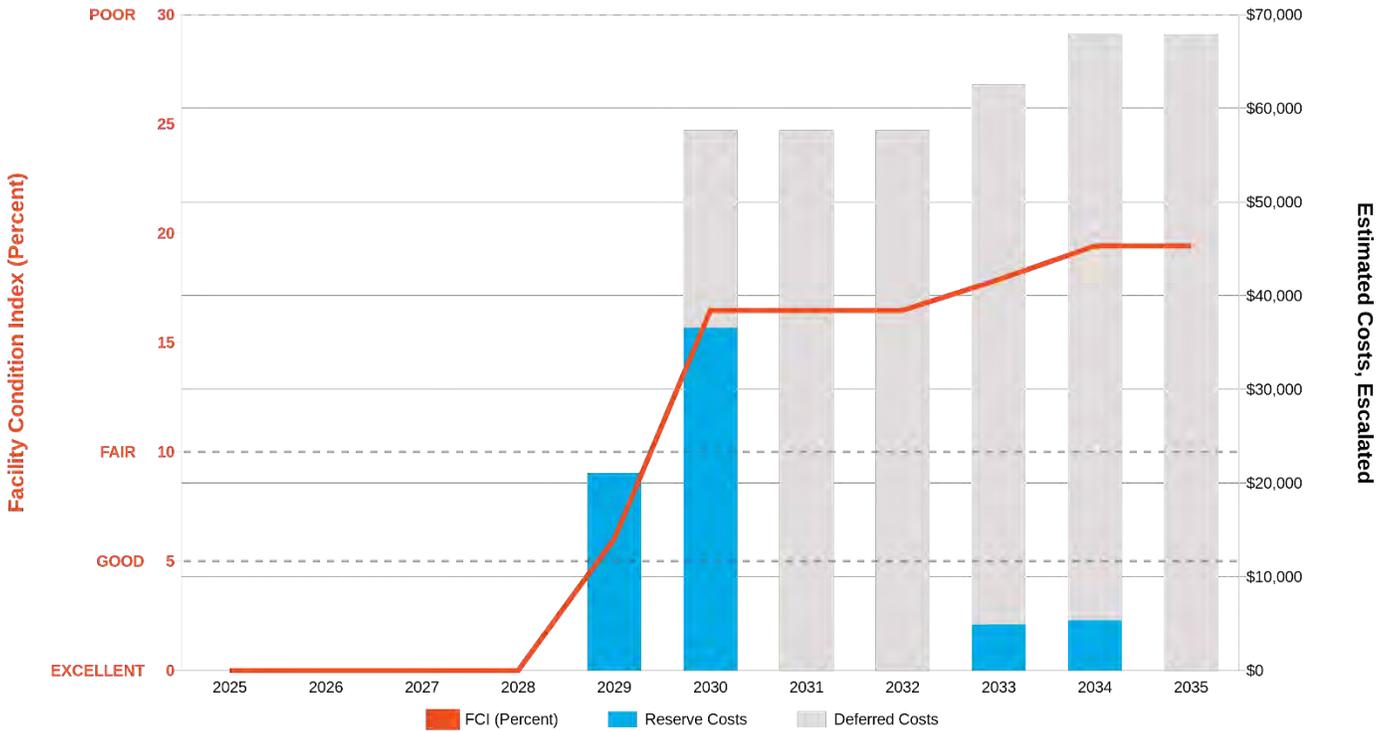
NEEDS OVER TIME: The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.

Needs by Year with Unaddressed FCI Over Time

Replacement Value: \$350,000.00

Inflation Rate: 3%

Average Needs (per year - over next 10 years): \$6,179.00



Immediate Needs

There are no immediate needs to report.

Key Findings



Fire Suppression System

Full System Install/Retrofit, Medium Density/Complexity
Portable 3
Throughout Building

Uniformat Code: D4010
Recommendation: **Renovate in 2030**

Plan Type:
Retrofit/Adaptation

Cost Estimate: \$16,500

The building lacks a fire suppression system and the school is likely "grandfathered" based on code at the time of original construction. A comprehensive building renovation would likely trigger full compliance to current codes, and a budgetary cost for a full fire suppression retrofit is included in the initial five-year plan. - AssetCALC ID: 9597378

Portable 3: Photographic Overview



1 – FRONT ELEVATION



2 – RIGHT ELEVATION



3 – REAR ELEVATION



4 – LEFT ELEVATION



5 – BUILDING INTERIOR



6 – HEAT PUMP

13. Portable 4



Portable 4: Building Systems Summary

Address	8755 Kern Avenue, Gilroy, CA 95020	
GPS Coordinates	37.3326639, -121.8918364	
Constructed/Renovated	2009	
Building Area	1,000 SF	
Number of Stories	1 above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure over concrete pier foundation	Good
Facade	Wall Finish: Wood siding Windows: Aluminum	Fair
Roof	Primary: Flat construction with metal finish	Fair
Interiors	Walls: Wall panel with tackboards Floors: Carpet Ceilings: ACT	Fair
Elevators	None	n/a
Plumbing	None	n/a

Portable 4: Building Systems Summary		
HVAC	Wall mounted Heat pump	Fair
Fire Suppression	Fire extinguishers only	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: LED	Fair
Fire Alarm	Alarm panel with smoke detectors, alarms, strobes, pull stations and exit signs	Fair
Equipment/Special	None	n/a
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	Most of the interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the building, the exterior walls of the facility, and the roof.	
Key Spaces Not Observed	All key areas of the facility were accessible and observed.	

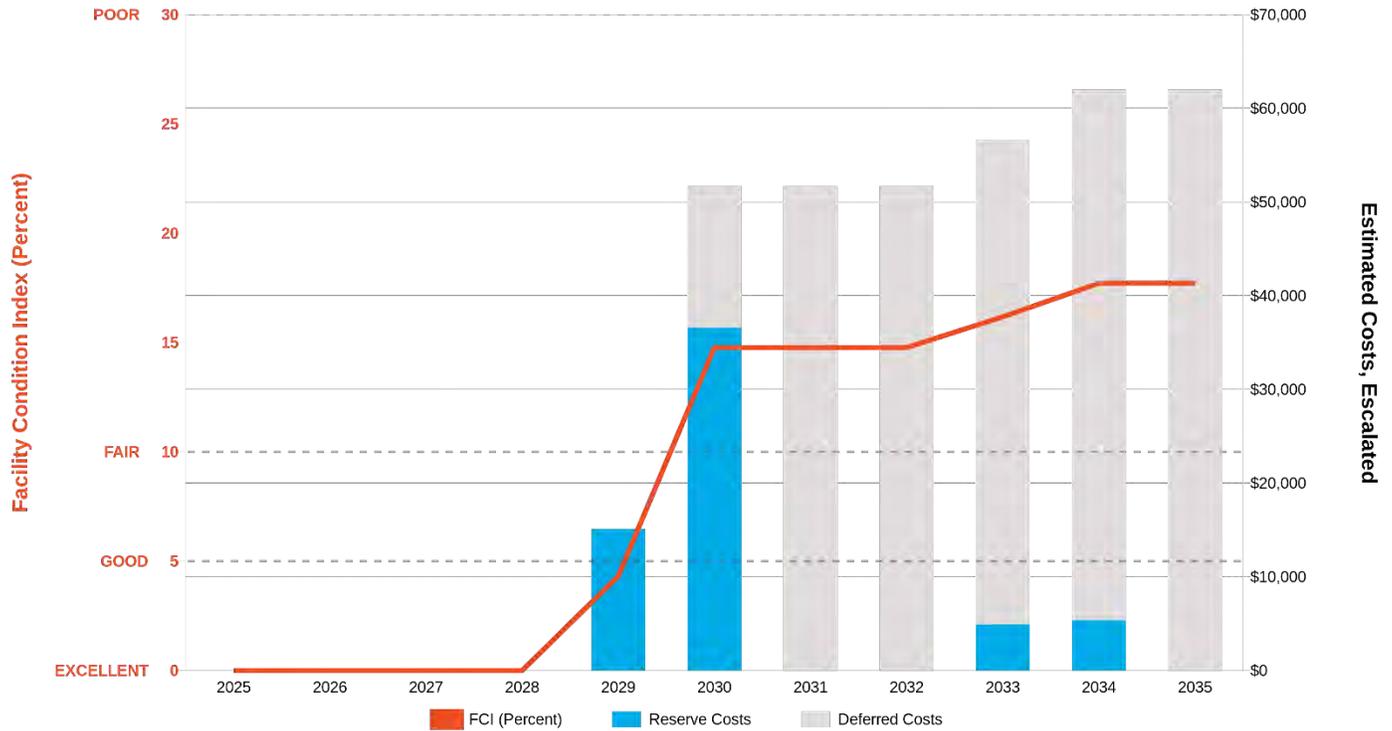
The table below shows the anticipated costs by trade or building system over the next 20 years.

Portable 4: System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	\$0	\$0	\$0	\$4,923	\$26,217	\$31,140
Roofing	\$0	\$0	\$596	\$0	\$0	\$596
Interiors	\$0	\$0	\$14,748	\$5,379	\$20,784	\$40,911
HVAC	\$0	\$0	\$7,292	\$0	\$7,127	\$14,419
Fire Protection	\$0	\$0	\$19,118	\$0	\$0	\$19,118
Electrical	\$0	\$0	\$1,060	\$0	\$11,985	\$13,045
Fire Alarm & Electronic Systems	\$0	\$0	\$8,894	\$0	\$4,255	\$13,149
TOTALS	\$0	\$0	\$51,800	\$10,400	\$70,400	\$132,600

NEEDS OVER TIME: The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.

Needs by Year with Unaddressed FCI Over Time

Replacement Value: \$350,000.00 Inflation Rate: 3% Average Needs (per year - over next 10 years): \$5,637.00



Immediate Needs

There are no immediate needs to report.

Key Findings



Fire Suppression System

Full System Install/Retrofit, Medium Density/Complexity
Portable 4
Throughout Building

Uniformat Code: D4010
Recommendation: **Renovate in 2030**

Plan Type:
Retrofit/Adaptation

Cost Estimate: \$16,500

The building lacks a fire suppression system and the school is likely "grandfathered" based on code at the time of original construction. A comprehensive building renovation would likely trigger full compliance to current codes, and a budgetary cost for a full fire suppression retrofit is included in the initial five-year plan. - AssetCALC ID: 9597410

Portable 4: Photographic Overview



1 – FRONT ELEVATION



2 – RIGHT ELEVATION



3 – LEFT ELEVATION



4 – REAR ELEVATION



5 – BUILDING INTERIOR



6 – HEAT PUMP

14. Portable 5



Portable 5: Building Systems Summary

Address	8755 Kern Avenue, Gilroy, CA 95020	
GPS Coordinates	37.3326639, -121.8918364	
Constructed/Renovated	2009	
Building Area	1,000 SF	
Number of Stories	1 above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure over concrete pier foundation	Good
Facade	Wall Finish: Wood siding Windows: Aluminum	Fair
Roof	Primary: Flat construction with metal finish	Fair
Interiors	Walls: Wall panel with tackboards Floors: Carpet Ceilings: ACT	Fair
Elevators	None	n/a
Plumbing	Distribution: Copper supply and cast-iron waste & venting Hot Water: None Fixtures: Sinks	Fair

Portable 5: Building Systems Summary		
HVAC	Wall mounted Heat pump	Fair
Fire Suppression	Wet-pipe sprinkler system and fire extinguisher	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: LED	Fair
Fire Alarm	Alarm panel with smoke detectors, alarms, strobes, pull stations and exit signs	Fair
Equipment/Special	None	n/a
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	Most of the interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the building, the exterior walls of the facility, and the roof.	
Key Spaces Not Observed	All key areas of the facility were accessible and observed.	

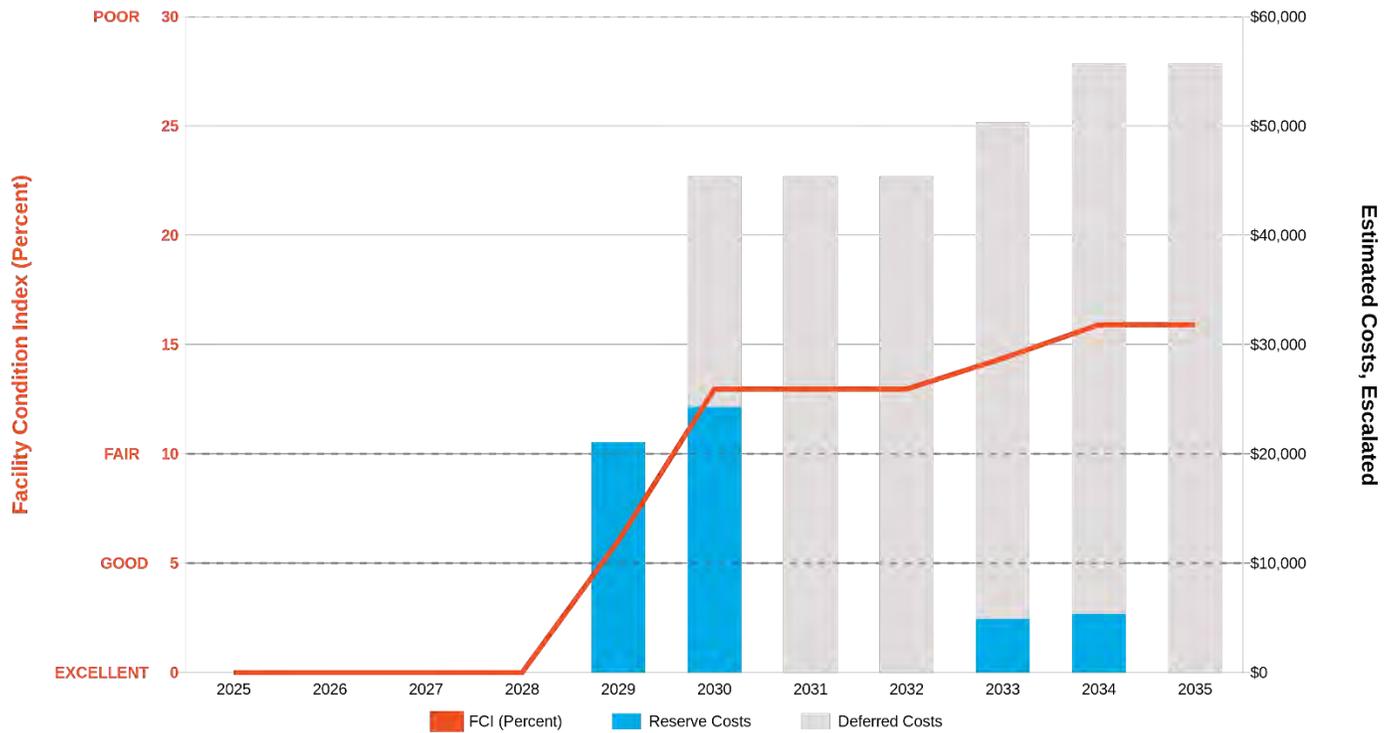
The table below shows the anticipated costs by trade or building system over the next 20 years.

Portable 5: System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	\$0	\$0	\$0	\$4,923	\$26,217	\$31,140
Roofing	\$0	\$0	\$596	\$0	\$0	\$596
Interiors	\$0	\$0	\$14,748	\$5,379	\$20,784	\$40,911
Plumbing	\$0	\$0	\$0	\$0	\$2,137	\$2,137
HVAC	\$0	\$0	\$7,292	\$0	\$7,127	\$14,419
Fire Protection	\$0	\$0	\$6,828	\$0	\$0	\$6,828
Electrical	\$0	\$0	\$1,060	\$0	\$10,027	\$11,087
Fire Alarm & Electronic Systems	\$0	\$0	\$10,882	\$0	\$4,255	\$15,137
Equipment & Furnishings	\$0	\$0	\$3,977	\$0	\$0	\$3,977
TOTALS	\$0	\$0	\$45,400	\$10,400	\$70,600	\$126,400

NEEDS OVER TIME: The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.

Needs by Year with Unaddressed FCI Over Time

Replacement Value: \$350,000.00 Inflation Rate: 3% Average Needs (per year - over next 10 years): \$5,062.00



Immediate Needs

There are no immediate needs to report.

Key Findings



Fire Suppression System

Full System Install/Retrofit, Medium Density/Complexity
Portable 5
Throughout Building

Uniformat Code: D4010
Recommendation: **Install in 2030**

Plan Type:
Retrofit/Adaptation

Cost Estimate: \$5,900

The building lacks a fire suppression system and the school is likely "grandfathered" based on code at the time of original construction. A comprehensive building renovation would likely trigger full compliance to current codes, and a budgetary cost for a full fire suppression retrofit is included in the initial five-year plan. - AssetCALC ID: 9597439

Portable 5: Photographic Overview



1 – FRONT ELEVATION



2 – LEFT ELEVATION



3 – RIGHT ELEVATION



4 – REAR ELEVATION



5 – BUILDING INTERIOR



6 – HEAT PUMP

15. Portable 6



Portable 6: Building Systems Summary

Address	8755 Kern Avenue, Gilroy, CA 95020	
GPS Coordinates	37.3326639, -121.8918364	
Constructed/Renovated	2009	
Building Area	1,000 SF	
Number of Stories	1 above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure over concrete pier foundation	Good
Facade	Wall Finish: Wood siding Windows: Aluminum	Fair
Roof	Primary: Flat construction with metal finish	Fair
Interiors	Walls: Wall panel with tackboards Floors: Carpet and VCT Ceilings: ACT	Fair
Elevators	None	n/a
Plumbing	Distribution: Copper supply and cast-iron waste & venting Hot Water: None Fixtures: Sinks	Fair

Portable 6: Building Systems Summary		
HVAC	Wall mounted Heat pump	Fair
Fire Suppression	Wet-pipe sprinkler system and fire extinguishers	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: LED	Fair
Fire Alarm	Alarm panel with smoke detectors, alarms, strobes, pull stations and exit signs	Fair
Equipment/Special	None	n/a
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	Most of the interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the building, the exterior walls of the facility, and the roof.	
Key Spaces Not Observed	All key areas of the facility were accessible and observed.	

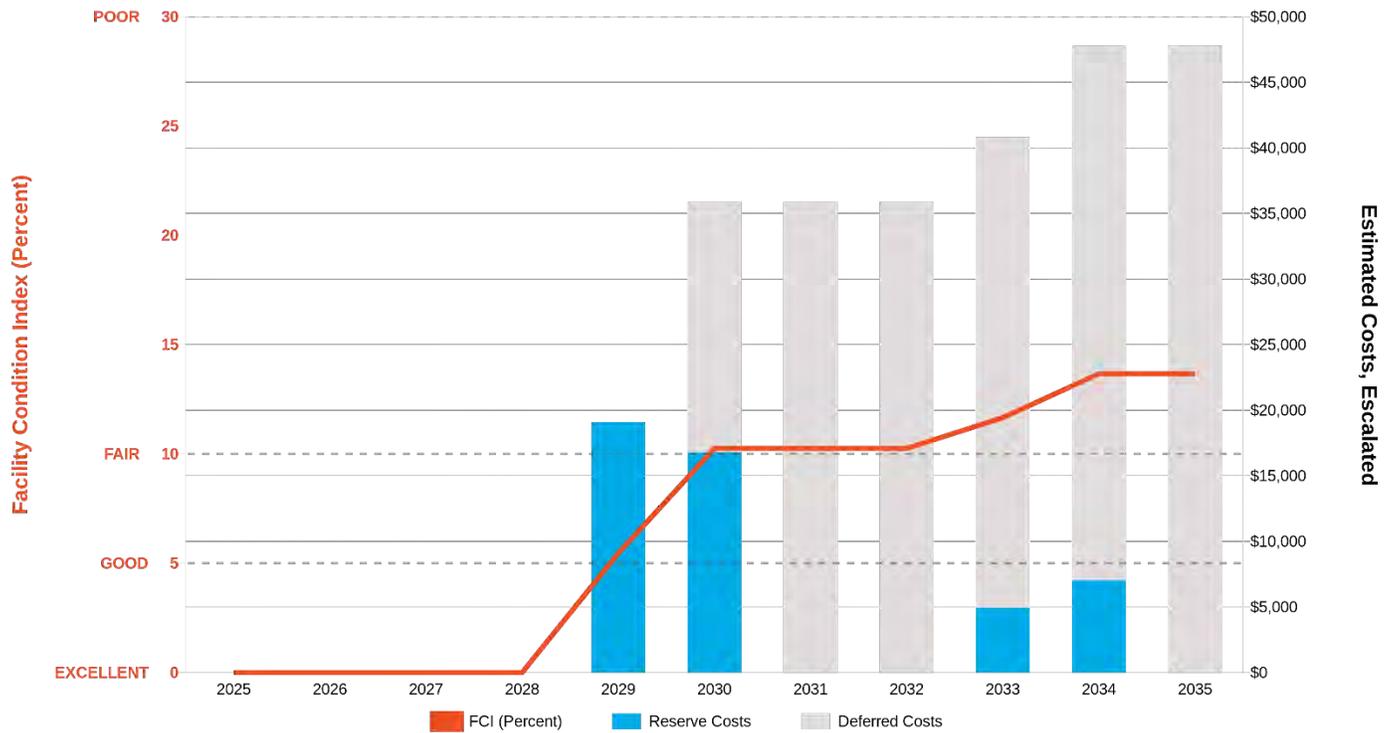
The table below shows the anticipated costs by trade or building system over the next 20 years.

Portable 6: System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	\$0	\$0	\$0	\$4,923	\$26,217	\$31,140
Roofing	\$0	\$0	\$596	\$0	\$0	\$596
Interiors	\$0	\$0	\$14,064	\$5,379	\$20,158	\$39,601
Plumbing	\$0	\$0	\$0	\$0	\$2,137	\$2,137
HVAC	\$0	\$0	\$7,292	\$0	\$7,127	\$14,419
Fire Protection	\$0	\$0	\$0	\$1,644	\$0	\$1,644
Electrical	\$0	\$0	\$1,060	\$0	\$10,027	\$11,087
Fire Alarm & Electronic Systems	\$0	\$0	\$8,894	\$0	\$4,255	\$13,149
Equipment & Furnishings	\$0	\$0	\$3,977	\$0	\$0	\$3,977
TOTALS	\$0	\$0	\$35,900	\$12,000	\$70,000	\$117,900

NEEDS OVER TIME: The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.

Needs by Year with Unaddressed FCI Over Time

Replacement Value: \$350,000.00 Inflation Rate: 3% Average Needs (per year - over next 10 years): \$4,348.00



Immediate Needs

There are no immediate needs to report.

Key Findings

There are no key findings to report.

Portable 6: Photographic Overview



1 – FRONT ELEVATION



2 – LEFT ELEVATION



3 – REAR ELEVATION



4 – RIGHT ELEVATION



5 – BUILDING INTERIOR



6 – HEAT PUMP

16. Portable 7



Portable 7: Building Systems Summary

Address	8755 Kern Avenue, Gilroy, CA 95020	
GPS Coordinates	37.3326639, -121.8918364	
Constructed/Renovated	2009	
Building Area	1,000 SF	
Number of Stories	1 above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure over concrete pier foundation	Good
Facade	Wall Finish: Wood siding Windows: Aluminum	Fair
Roof	Primary: Flat construction with metal finish	Fair
Interiors	Walls: Wall panel with tackboards Floors: Carpet and VCT Ceilings: ACT	Fair
Elevators	None	n/a
Plumbing	Distribution: Copper supply and cast-iron waste & venting Hot Water: None Fixtures: Sinks	Fair

Portable 7: Building Systems Summary		
HVAC	Wall mounted Heat pump	Fair
Fire Suppression	Wet-pipe sprinkler system and fire extinguishers	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: LED	Fair
Fire Alarm	Alarm panel with smoke detectors, alarms, strobes, pull stations and exit signs	Fair
Equipment/Special	None	n/a
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	Most of the interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the building, the exterior walls of the facility, and the roof.	
Key Spaces Not Observed	All key areas of the facility were accessible and observed.	

The table below shows the anticipated costs by trade or building system over the next 20 years.

Portable 7: System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	\$0	\$0	\$0	\$4,923	\$26,217	\$31,140
Roofing	\$0	\$0	\$596	\$0	\$0	\$596
Interiors	\$0	\$0	\$14,748	\$5,379	\$20,784	\$40,911
Plumbing	\$0	\$0	\$0	\$0	\$2,137	\$2,137
HVAC	\$0	\$0	\$7,292	\$0	\$7,127	\$14,419
Fire Protection	\$0	\$0	\$6,828	\$0	\$0	\$6,828
Electrical	\$0	\$0	\$530	\$0	\$10,027	\$10,557
Fire Alarm & Electronic Systems	\$0	\$0	\$8,894	\$0	\$4,255	\$13,149
TOTALS	\$0	\$0	\$38,900	\$10,400	\$70,600	\$119,900

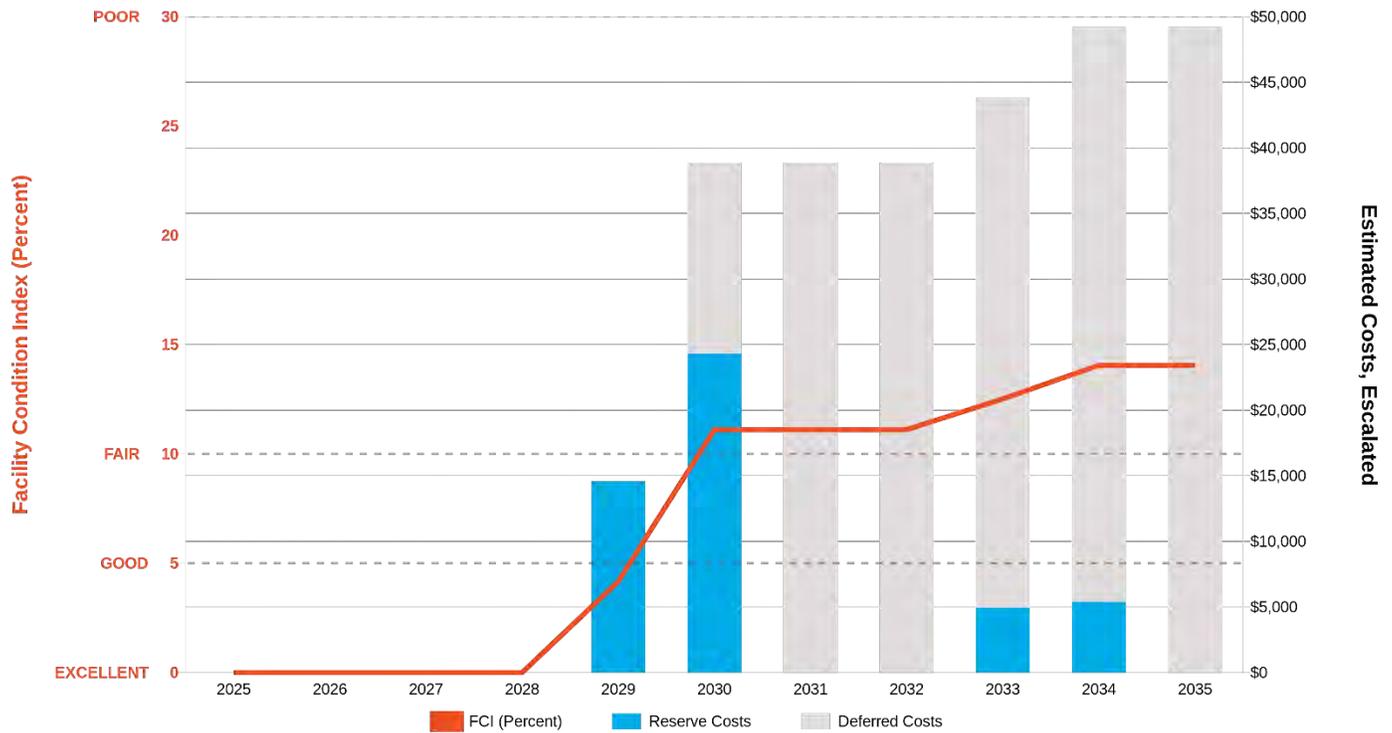
NEEDS OVER TIME: The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.

Needs by Year with Unaddressed FCI Over Time

Replacement Value: \$350,000.00

Inflation Rate: 3%

Average Needs (per year - over next 10 years): \$4,471.00



Immediate Needs

There are no immediate needs to report.

Key Findings



Fire Suppression System

Full System Install/Retrofit, Medium
 Density/Complexity
 Portable 7
 Throughout Building

Uniformat Code: D4010
 Recommendation: **Install in 2030**

Plan Type:
 Retrofit/Adaptation

Cost Estimate: \$5,900

The building lacks a fire suppression system and the school is likely "grandfathered" based on code at the time of original construction. A comprehensive building renovation would likely trigger full compliance to current codes, and a budgetary cost for a full fire suppression retrofit is included in the initial five-year plan. - AssetCALC ID: 9598763

Portable 7: Photographic Overview



1 – RIGHT ELEVATION



2 – LEFT ELEVATION



3 – FRONT ELEVATION



4 – BUILDING REAR ELEVATION



5 – BUILDING INTERIOR



6 – HEAT PUMP

17. Portable 8



Portable 8: Building Systems Summary

Address	8755 Kern Avenue, Gilroy, CA 95020	
GPS Coordinates	37.3326639, -121.8918364	
Constructed/Renovated	2009	
Building Area	1,000 SF	
Number of Stories	1 above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure over concrete pier foundation	Good
Facade	Wall Finish: Wood siding Windows: Aluminum	Fair
Roof	Primary: Flat construction with metal finish	Fair
Interiors	Walls: Wall panel with tackboards Floors: Carpet Ceilings: ACT	Fair
Elevators	None	n/a
Plumbing	Distribution: Copper supply and cast-iron waste & venting Hot Water: None Fixtures: Sink	Fair

Portable 8: Building Systems Summary

HVAC	Wall mounted Heat pump	Fair
Fire Suppression	Wet-pipe sprinkler system and fire extinguishers	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: LED	Fair
Fire Alarm	Alarm panel with smoke detectors, alarms, strobes, pull stations and exit signs	Fair
Equipment/Special	None	n/a
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	Most of the interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the building, the exterior walls of the facility, and the roof.	
Key Spaces Not Observed	All key areas of the facility were accessible and observed.	



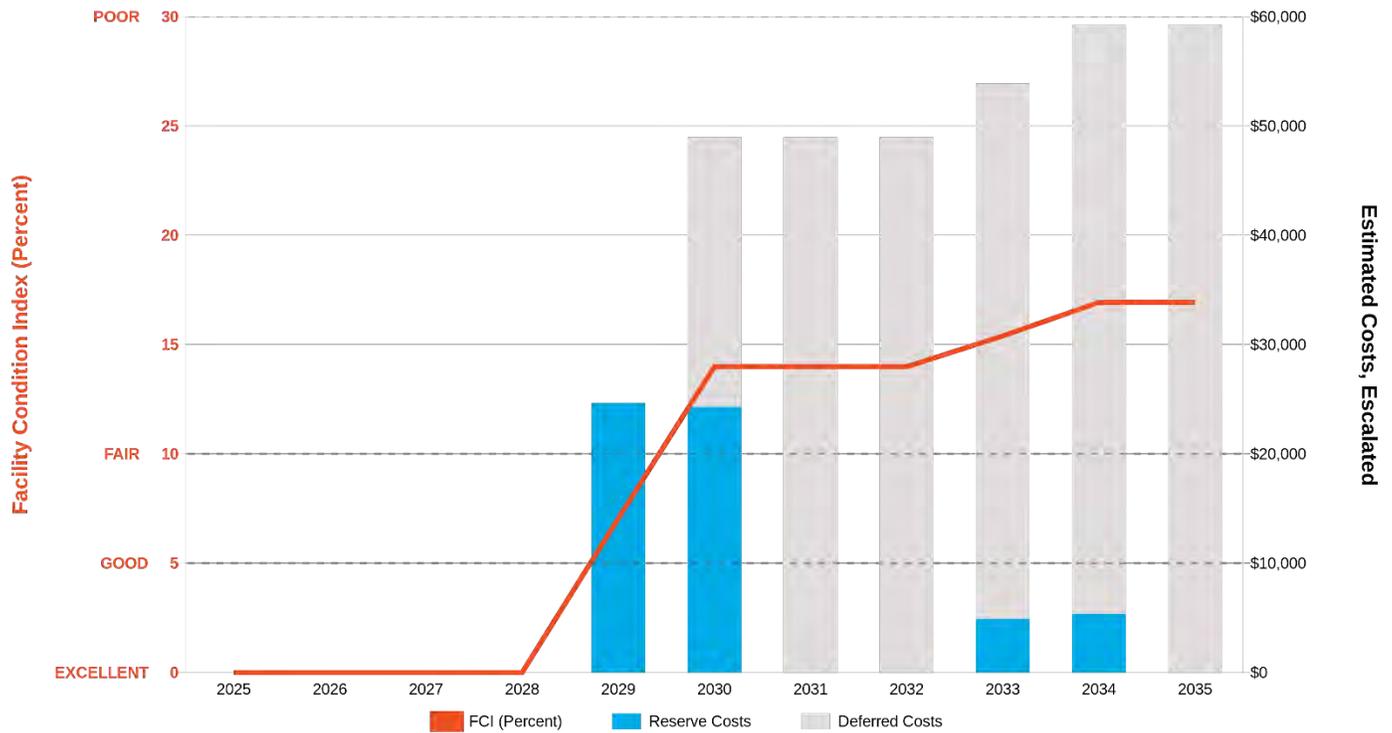
The table below shows the anticipated costs by trade or building system over the next 20 years.

Portable 8: System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	\$0	\$0	\$0	\$4,923	\$24,553	\$29,476
Roofing	\$0	\$0	\$596	\$0	\$0	\$596
Interiors	\$0	\$0	\$14,748	\$5,379	\$20,784	\$40,911
Plumbing	\$0	\$0	\$0	\$0	\$2,137	\$2,137
HVAC	\$0	\$0	\$7,292	\$0	\$7,127	\$14,419
Fire Protection	\$0	\$0	\$6,828	\$0	\$0	\$6,828
Electrical	\$0	\$0	\$6,629	\$0	\$801	\$7,430
Fire Alarm & Electronic Systems	\$0	\$0	\$8,894	\$0	\$4,255	\$13,149
Equipment & Furnishings	\$0	\$0	\$3,977	\$0	\$0	\$3,977
TOTALS	\$0	\$0	\$49,000	\$10,400	\$59,700	\$119,100

NEEDS OVER TIME: The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.

Needs by Year with Unaddressed FCI Over Time

Replacement Value: \$350,000.00 Inflation Rate: 3% Average Needs (per year - over next 10 years): \$5,387.00



Immediate Needs

There are no immediate needs to report.

Key Findings



Fire Suppression System

Full System Install/Retrofit, Medium Density/Complexity
 Portable 8
 Throughout Building

Uniformat Code: D4010
 Recommendation: **Install in 2030**

Plan Type:
 Retrofit/Adaptation

Cost Estimate: \$5,900

The building lacks a fire suppression system and the school is likely "grandfathered" based on code at the time of original construction. A comprehensive building renovation would likely trigger full compliance to current codes, and a budgetary cost for a full fire suppression retrofit is included in the initial five-year plan. - AssetCALC ID: 9598755

Portable 8: Photographic Overview



1 – FRONT ELEVATION



2 – LEFT ELEVATION



3 – REAR ELEVATION



4 – RIGHT ELEVATION



5 – BUILDING INTERIOR



6 – RAMP

18. Portable 9



Portable 9: Building Systems Summary

Address	8755 Kern Avenue, Gilroy, CA 95020	
GPS Coordinates	37.3326639, -121.8918364	
Constructed/Renovated	2009	
Building Area	1,000 SF	
Number of Stories	1 above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure over concrete pier foundation	Good
Facade	Wall Finish: Wood siding Windows: Aluminum	Fair
Roof	Primary: Flat construction with metal finish	Fair
Interiors	Walls: Wall panel with tackboards Floors: Carpet Ceilings: ACT	Fair
Elevators	None	n/a
Plumbing	Distribution: Copper supply and cast-iron waste & venting Hot Water: None Fixtures: Sinks	Fair

Portable 9: Building Systems Summary		
HVAC	Wall mounted Heat pump	Fair
Fire Suppression	Fire extinguishers only	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: LED	Fair
Fire Alarm	Alarm panel with smoke detectors, heat detectors, alarms, strobes, and pull stations.	Fair
Equipment/Special	None	n/a
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	Most of the interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the building, the exterior walls of the facility, and the roof.	
Key Spaces Not Observed	All key areas of the facility were accessible and observed.	

The table below shows the anticipated costs by trade or building system over the next 20 years.

Portable 9: System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	\$0	\$0	\$0	\$4,923	\$26,217	\$31,140
Roofing	\$0	\$0	\$596	\$0	\$0	\$596
Interiors	\$0	\$0	\$14,748	\$5,379	\$20,784	\$40,911
Plumbing	\$0	\$0	\$0	\$0	\$2,137	\$2,137
HVAC	\$0	\$0	\$7,292	\$0	\$7,127	\$14,419
Fire Protection	\$0	\$0	\$19,118	\$0	\$0	\$19,118
Electrical	\$0	\$0	\$1,060	\$0	\$10,027	\$11,087
Fire Alarm & Electronic Systems	\$0	\$0	\$8,894	\$0	\$4,255	\$13,149
Equipment & Furnishings	\$0	\$0	\$3,977	\$0	\$0	\$3,977
TOTALS	\$0	\$0	\$55,700	\$10,400	\$70,600	\$136,700

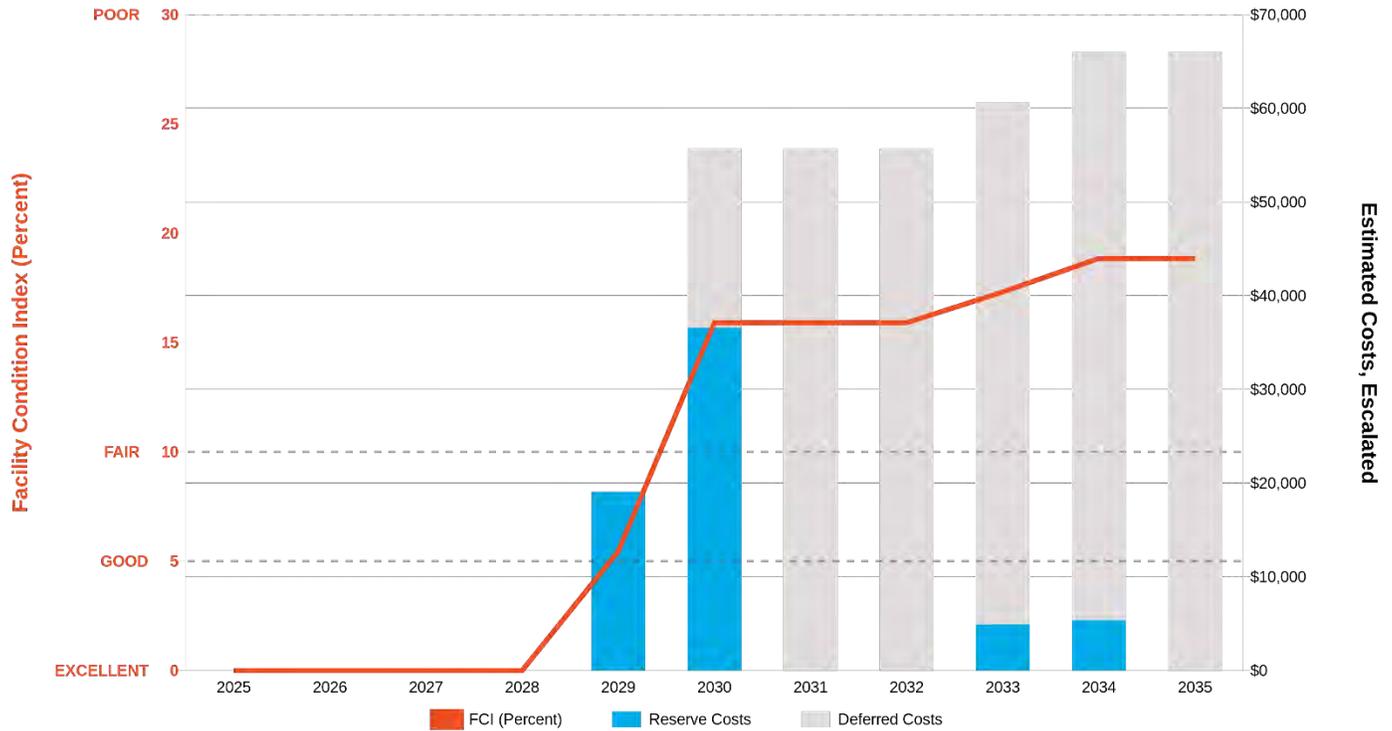
NEEDS OVER TIME: The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.

Needs by Year with Unaddressed FCI Over Time

Replacement Value: \$350,000.00

Inflation Rate: 3%

Average Needs (per year - over next 10 years): \$5,998.00



Immediate Needs

There are no immediate needs to report.

Key Findings



Fire Suppression System

Full System Install/Retrofit, Medium Density/Complexity
Portable 9
Throughout Building

Uniformat Code: D4010
Recommendation: **Renovate in 2030**

Plan Type:
Retrofit/Adaptation

Cost Estimate: \$16,500

The building lacks a fire suppression system and the school is likely "grandfathered" based on code at the time of original construction. A comprehensive building renovation would likely trigger full compliance to current codes, and a budgetary cost for a full fire suppression retrofit is included in the initial five-year plan. - AssetCALC ID: 9605031

Portable 9: Photographic Overview



1 – FRONT ELEVATION



2 – LEFT ELEVATION



3 – REAR ELEVATION



4 – RIGHT ELEVATION



5 – BUILDING INTERIOR



6 – HEAT PUMP

19. Portable 10



Portable 10: Building Systems Summary

Address	8755 Kern Avenue, Gilroy, CA 95020	
GPS Coordinates	37.3326639, -121.8918364	
Constructed/Renovated	2009	
Building Area	2,000 SF	
Number of Stories	1 above grade	
<i>System</i>	<i>Description</i>	<i>Condition</i>
Structure	Conventional wood frame structure over concrete pier foundation	Good
Facade	Wall Finish: Wood siding Windows: Aluminum	Fair
Roof	Primary: Flat construction with metal finish	Fair
Interiors	Walls: Wallpaper and Laminate paneling Floors: Carpet and Vinyl Sheeting Ceilings: ACT	Fair
Elevators	None	n/a
Plumbing	Distribution: Copper supply and cast-iron waste & venting Hot Water: None Fixtures: Toilets and Sinks	Fair

Portable 10: Building Systems Summary		
HVAC	Wall mounted Heat pumps	Fair
Fire Suppression	Fire extinguishers only	Fair
Electrical	Source & Distribution: Main panel with copper wiring Interior Lighting: LED and linear fluorescent	Fair
Fire Alarm	Alarm panel with smoke detectors, heat detectors, alarms, strobes, pull stations, back-up emergency lights, and exit signs	Fair
Equipment/Special	None	n/a
Accessibility	Presently it does not appear an accessibility study is needed for this building. See the appendix for associated photos and additional information.	
Additional Studies	No additional studies are currently recommended for the building.	
Areas Observed	Most of the interior spaces were observed to gain a clear understanding of the facility's overall condition. Other areas accessed and assessed included the exterior equipment and assets directly serving the building, the exterior walls of the facility, and the roof.	
Key Spaces Not Observed	All key areas of the facility were accessible and observed.	

The table below shows the anticipated costs by trade or building system over the next 20 years.

Portable 10: System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Facade	\$0	\$0	\$0	\$6,715	\$38,424	\$45,139
Roofing	\$0	\$0	\$1,193	\$0	\$0	\$1,193
Interiors	\$0	\$0	\$10,322	\$28,217	\$48,097	\$86,636
Plumbing	\$0	\$0	\$0	\$4,749	\$8,907	\$13,656
HVAC	\$0	\$0	\$14,584	\$0	\$14,254	\$28,838
Fire Protection	\$0	\$0	\$38,237	\$0	\$0	\$38,237
Electrical	\$0	\$0	\$15,378	\$0	\$3,919	\$19,297
Fire Alarm & Electronic Systems	\$0	\$0	\$25,737	\$0	\$20,358	\$46,095
Equipment & Furnishings	\$0	\$0	\$7,955	\$0	\$0	\$7,955
TOTALS	\$0	\$0	\$113,500	\$39,700	\$134,000	\$287,200

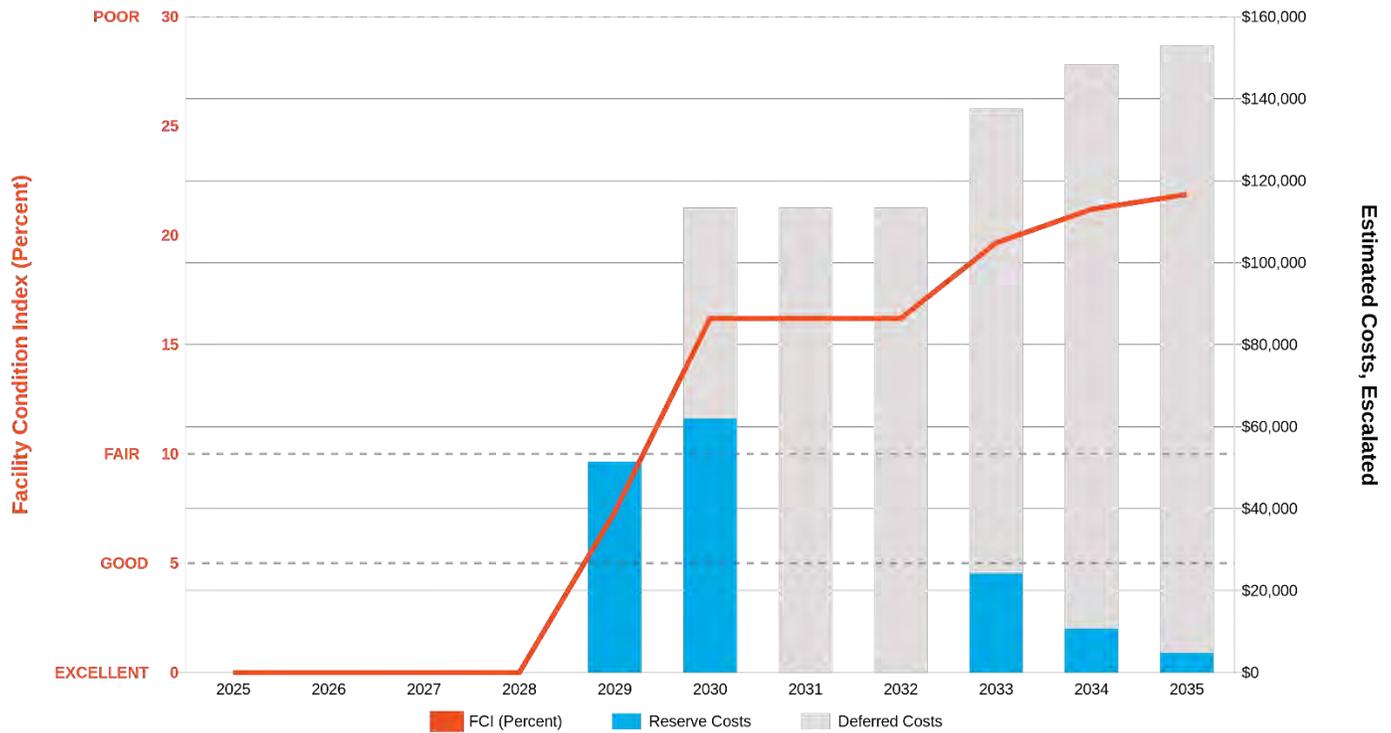
NEEDS OVER TIME: The vertical blue bars in the graphic below represent the year-by-year needs identified for the facility. The orange line forecasts what would happen to the FCI (left Y axis) over time, assuming zero capital expenditures over the next ten years. The dollar amounts allocated for each year are associated with the values along the right Y axis.

Needs by Year with Unaddressed FCI Over Time

Replacement Value: \$700,000.00

Inflation Rate: 3%

Average Needs (per year - over next 10 years): \$13,917.00



Immediate Needs

There are no immediate needs to report.

Key Findings



Fire Suppression System

Full System Install/Retrofit, Medium Density/Complexity
Portable 10
Throughout Building

Uniformat Code: D4010
Recommendation: **Renovate in 2030**

Plan Type:
Retrofit/Adaptation

Cost Estimate: \$33,000

The building lacks a fire suppression system and the school is likely "grandfathered" based on code at the time of original construction. A comprehensive building renovation would likely trigger full compliance to current codes, and a budgetary cost for a full fire suppression retrofit is included in the initial five-year plan. - AssetCALC ID: 9598717

Portable 10: Photographic Overview



1 – FRONT ELEVATION



2 – LEFT ELEVATION



3 – REAR ELEVATION



4 – RIGHT ELEVATION



5 – BUILDING INTERIOR



6 – KITCHENETTE

20. Site



Site: Site Information		
System	Description	Condition
Site Area	6.4 acres	
Parking Spaces	81 total spaces all in open lots; 6 of which are accessible.	
Site Pavement	Asphalt lots with limited areas of concrete aprons and pavement and adjacent concrete sidewalks, curbs, ramps, and stairs	Fair
Site Development	Building-mounted, Property entrance signage; chain link, wrought iron fencing; CMU wall fence dumpster enclosures Playgrounds and sports fields and courts with site lights Heavily furnished with moderate park benches, picnic tables, trash receptacles	Fair
Landscaping & Topography	Moderate landscaping features including lawns, trees, bushes, and planters Irrigation present Low to moderate site slopes throughout	Fair
Utilities	Municipal water and sewer Local utility-provided electric and natural gas	Fair
Site Lighting	Pole-mounted: LED Building-mounted: LED	Fair
Ancillary Structures	Prefabricated modular buildings	Fair

Site: Site Information	
Site Accessibility	Presently it does not appear an accessibility study is needed for the exterior and site areas. See the appendix for associated photos and additional information.
Site Additional Studies	No additional studies are currently recommended for the site areas.
Site Areas Observed	Most of the exterior areas within the property boundaries were observed to gain a clear understanding of the site's overall condition.
Site Key Spaces Not Observed	All key areas of the exterior site were accessible and observed.

The table below shows the anticipated costs by trade or building system over the next 20 years.

Site: System Expenditure Forecast						
System	Immediate	Short Term (1-2 yr)	Near Term (3-5 yr)	Med Term (6-10 yr)	Long Term (11-20 yr)	TOTAL
Plumbing	\$0	\$0	\$4,369	\$0	\$0	\$4,369
Fire Protection	\$0	\$0	\$14,339	\$0	\$0	\$14,339
Electrical	\$0	\$0	\$7,374	\$0	\$0	\$7,374
Special Construction & Demo	\$0	\$0	\$5,134	\$0	\$1,239,378	\$1,244,512
Sitework	\$0	\$13,346	\$225,325	\$176,722	\$1,156,624	\$1,572,017
TOTALS	\$0	\$13,400	\$256,600	\$176,800	\$2,396,100	\$2,842,900

Immediate Needs

There are no immediate needs to report.

Key Findings



Sidewalk in Poor condition.

Plan Type: Safety

Asphalt
Site
Sidewalk

Cost Estimate: \$13,000

Uniformat Code: G2030
Recommendation: **Replace in 2026**

Sidewalk is uneven with potential tripping hazards. Repair and replacement recommended for safety. -
AssetCALC ID: 9606955

Site: Photographic Overview



1 – SIGNAGE



2 – LANDSCAPING



3 – BASKETBALL COURTS



4 – PLAYGROUND



5 – PICNIC TABLES



6 – PARKING

21. ADA Accessibility

Generally, Title II of the Americans with Disabilities Act (ADA) prohibits discrimination by entities to access and use of “areas of public accommodations” and “public facilities” on the basis of disability. Regardless of their age, these areas and facilities must be maintained and operated to comply with the Americans with Disabilities Act Accessibility Guidelines (ADAAG).

A public entity (i.e. city governments) shall operate each service, program, or activity so that the service, program, or activity, when viewed in its entirety, is readily accessible to and usable by individuals with disabilities.

However, this does not:

1. Necessarily require a public entity to make each of its existing facilities accessible to and usable by individuals with disabilities;
2. Require a public entity to take any action that would threaten or destroy the historic significance of an historic property; or
3. Require a public entity to take any action that it can demonstrate would result in a fundamental alteration in the nature of a service, program, or activity or in undue financial and administrative burdens. In those circumstances where personnel of the public entity believe that the proposed action would fundamentally alter the service, program, or activity or would result in undue financial and administrative burdens, a public entity has the burden of proving that compliance with 35.150(a) of this part would result in such alteration or burdens. The decision that compliance would result in such alteration or burdens must be made by the head of a public entity or his or her designee after considering all resources available for use in the funding and operation of the service, program, or activity, and must be accompanied by a written statement of the reasons for reaching that conclusion. If an action would result in such an alteration or such burdens, a public entity shall take any other action that would not result in such an alteration or such burdens but would nevertheless ensure that individuals with disabilities receive the benefits or services provided by the public entity.

Removal of barriers to accessibility should be addressed from a liability standpoint in order to comply with federal law, but the barriers may or may not be building code violations. The Americans with Disabilities Act Accessibility Guidelines are part of the ADA federal civil rights law pertaining to the disabled and are not a construction code. State and local jurisdictions have adopted the ADA Guidelines or have adopted other standards for accessibility as part of their construction codes.

During the FCA, Bureau Veritas performed a limited high-level accessibility review of the facility non-specific to any local regulations or codes. The scope of the visual observation was limited to the same areas observed while performing the FCA and the categories set forth in the material included in the appendix. It is understood by the Client that the limited observations described herein do not comprise a full ADA Compliance Survey, and that such a survey is beyond the scope of this assessment. A full measured ADA survey would be required to identify more specific potential accessibility issues. Additional clarifications of this limited survey:

- This survey was visual in nature and actual measurements were not taken to verify compliance
- Only a representative sample of areas was observed
- Two overview photos were taken for each subsection regardless of perceived compliance or non-compliance
- Itemized costs for individual non-compliant items are included in the dataset
- For any “none” boxes checked or reference to “no issues” identified, that alone does not guarantee full compliance

The following table summarizes the accessibility conditions of the general site and each significant building included in this report:

Accessibility Summary			
<i>Facility</i>	<i>Year Built/ Renovated</i>	<i>Prior Study Provided?</i>	<i>Major/Moderate Issues Observed?</i>
General Site	1988	No	No
Building A	1988	No	No
Building B	1988	No	No
Building C	1988	No	No
Building D	1988	No	No
Building E	1988	No	No
Building F	1989	No	No
Building G	2013	No	No
Building H	1989	No	No
Portable 1	1998	No	No
Portable 10	2009	No	No
Portable 2	2009	No	No
Portable 3	2009	No	No
Portable 4	2009	No	No
Portable 5	2009	No	No
Portable 6	2009	No	No
Portable 7	2009	No	No
Portable 8	2009	No	No
Portable 9	2009	No	No
Rod Kelley Elementary School	1988	No	No
Site	1988	No	No

No detailed follow-up accessibility study is currently recommended since no major or moderate issues were identified at the subject site. Reference the appendix for specific data, photos, and tables or checklists associated with this limited accessibility survey.



22. Purpose and Scope

Purpose

Bureau Veritas was retained by the client to render an opinion as to the Property’s current general physical condition on the day of the site visit.

Based on the observations, interviews and document review outlined below, this report identifies significant deferred maintenance issues, existing deficiencies, and material code violations of record, which affect the Property’s use. Opinions are rendered as to its structural integrity, building system condition and the Property’s overall condition. The report also notes building systems or components that have realized or exceeded their typical expected useful lives.

The physical condition of building systems and related components are typically defined as being in one of five condition ratings. For the purposes of this report, the following definitions are used:

Condition Ratings	
Excellent	New or very close to new; component or system typically has been installed within the past year, sound and performing its function. Eventual repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.
Good	Satisfactory as-is. Component or system is sound and performing its function, typically within the first third of its lifecycle. However, it may show minor signs of normal wear and tear. Repair or replacement will be required when the component or system either reaches the end of its useful life or fails in service.
Fair	Showing signs of wear and use but still satisfactory as-is, typically near the median of its estimated useful life. Component or system is performing adequately at this time but may exhibit some signs of wear, deferred maintenance, or evidence of previous repairs. Repair or replacement will be required due to the component or system’s condition and/or its estimated remaining useful life.
Poor	Component or system is significantly aged, flawed, functioning intermittently or unreliably; displays obvious signs of deferred maintenance; shows evidence of previous repair or workmanship not in compliance with commonly accepted standards; has become obsolete; or exhibits an inherent deficiency. The present condition could contribute to or cause the deterioration of contiguous elements or systems. Either full component replacement is needed or repairs are required to restore to good condition, prevent premature failure, and/or prolong useful life.
Failed	Component or system has ceased functioning or performing as intended. Replacement, repair, or other significant corrective action is recommended or required.
Not Applicable	Assigning a condition does not apply or make logical sense, most commonly due to the item in question not being present.



Scope

The standard scope of the Facility Condition Assessment includes the following:

- Visit the Property to evaluate the general condition of the building and site improvements, review available construction documents in order to familiarize ourselves with, and be able to comment on, the in-place construction systems, life safety, mechanical, electrical, and plumbing systems, and the general built environment.
- Identify those components that are exhibiting deferred maintenance issues and provide cost estimates for Immediate Costs and Replacement Reserves based on observed conditions, maintenance history and industry standard useful life estimates. This will include the review of documented capital improvements completed within the last five-year period and work currently contracted for, if applicable.
- Provide a full description of the Property with descriptions of in-place systems and commentary on observed conditions.
- Provide a high-level categorical general statement regarding the subject Property's compliance to Title III of the Americans with Disabilities Act. This will not constitute a full ADA survey, but will help identify exposure to issues and the need for further review.
- Obtain background and historical information about the facility from a building engineer, property manager, maintenance staff, or other knowledgeable source. The preferred methodology is to have the client representative or building occupant complete a Pre-Survey Questionnaire (PSQ) in advance of the site visit. Common alternatives include a verbal interview just prior to or during the walk-through portion of the assessment.
- Review maintenance records and procedures with the in-place maintenance personnel.
- Observe a representative sample of the interior spaces/units, including vacant spaces/units, to gain a clear understanding of the property's overall condition. Other areas to be observed include the exterior of the property, the roofs, interior common areas, and the significant mechanical, electrical and elevator equipment rooms.
- Provide recommendations for additional studies, if required, with related budgetary information.
- Provide an Executive Summary at the beginning of this report, which highlights key findings and includes a Facility Condition Index as a basis for comparing the relative conditions of the buildings within the portfolio.

23. Opinions of Probable Costs

Cost estimates are embedded throughout this report, including the very detailed Replacement Reserves report in the appendix. The cost estimates are predominantly based on construction rehabilitation costs developed by the *RSMMeans data from Gordian*. While the *RSMMeans data from Gordian* is the primary reference source for the Bureau Veritas cost library, secondary and supporting sources include but are not limited to other industry experts work, such as *Marshall & Swift* and *CBRE Whitestone*. For improved accuracy, additional research integrated with Bureau Veritas's historical experience with past costs for similar properties, city cost indexes, and assumptions regarding future economic conditions also come into play when deemed necessary. Invoice or bid documents provided either by the owner or facility construction resources may be reviewed early in the process or for specific projects as warranted.

Opinions of probable costs should only be construed as preliminary, order of magnitude budgets. Actual costs most probably will vary from the consultant's opinions of probable costs depending on such matters as type and design of suggested remedy, quality of materials and installation, manufacturer and type of equipment or system selected, field conditions, whether a physical deficiency is repaired or replaced in whole, phasing or bundling of the work (if applicable), quality of contractor, quality of project management exercised, market conditions, use of subcontractors, and whether competitive pricing is solicited, etc. Certain opinions of probable costs cannot be developed within the scope of this guide without further study. Opinions of probable cost for further study should be included in the FCA.

Methodology

Based upon site observations, research, and judgment, along with referencing Expected Useful Life (EUL) tables from various industry sources, Bureau Veritas opines as to when a system or component will most probably necessitate replacement. Accurate historical replacement records, if provided, are typically the best source of information. Exposure to the elements, initial quality and installation, extent of use, the quality and amount of preventive maintenance exercised, etc., are all factors that impact the effective age of a system or component. As a result, a system or component may have an effective age that is greater or less than its actual chronological age. The Remaining Useful Life (RUL) of a component or system equals the EUL less its *effective age*, whether explicitly or implicitly stated. Projections of Remaining Useful Life (RUL) are based primarily on age and condition with the presumption of continued use and maintenance of the Property similar to the observed and reported past use and maintenance practices, in conjunction with the professional judgment of Bureau Veritas's assessors. Significant changes in occupants and/or usage may affect the service life of some systems or components.

Where quantities could not be or were not derived from an actual construction document take-off or facility walk-through, and/or where systemic costs are more applicable or provide more intrinsic value, budgetary square foot and gross square foot costs are used. Estimated costs are based on professional judgment and the probable or actual extent of the observed defect, inclusive of the cost to design, procure, construct and manage the corrections.

To account for differences in prices between locations, the base costs are modified by geographical location factors to adjust for market conditions, transportation costs, or other local contributors. When requested by the client, the costs may be further adjusted by several additional factors including; labor rates (prevailing minimum wage), general contractor fees for profit and overhead, and insurance. If desired, costs for design and permits, and a contingency factor, may also be included in the calculations.

Definitions

Immediate Needs

Immediate Needs are line items that require immediate action as a result of: (1) material existing or potential unsafe conditions, (2) failed or imminent failure of mission critical building systems or components, or (3) conditions that, if not addressed, have the potential to result in, or contribute to, critical element or system failure within one year or will most probably result in a significant escalation of its remedial cost.

For database and reporting purposes the line items with RUL=0, and commonly associated with *Safety* or *Performance/Integrity* Plan Types, are considered Immediate Needs.

Replacement Reserves

Cost line items traditionally called Replacement Reserves (equivalently referred to as Lifecycle/Renewals) are for recurring probable renewals or expenditures, which are not classified as operation or maintenance expenses. The replacement reserves should be budgeted for in advance on an annual basis. Replacement Reserves are reasonably predictable both in terms of frequency and cost. However, Replacement Reserves may also include components or systems that have an indeterminable life but, nonetheless, have a potential for failure within an estimated time period.

Replacement Reserves generally exclude systems or components that are estimated to expire after the reserve term and are not considered material to the structural and mechanical integrity of the subject property. Furthermore, systems and components that are not deemed to have a material effect on the use of the Property are also excluded. Costs that are caused by acts of God, accidents, or other occurrences that are typically covered by insurance, rather than reserved for, are also excluded.

Replacement costs are solicited from ownership/property management, Bureau Veritas's discussions with service companies, manufacturers' representatives, and previous experience in preparing such schedules for other similar facilities. Costs for work performed by the ownership's or property management's maintenance staff are also considered.

Bureau Veritas's reserve methodology involves identification and quantification of those systems or components requiring capital reserve funds within the assessment period. The assessment period is defined as the effective age plus the reserve term. Additional information concerning system or component replacement costs (in today's dollars), typical expected useful lives, and remaining useful lives were estimated so that a funding schedule could be prepared. The Replacement Reserves Schedule presupposes that all required remedial work has been performed or that monies for remediation have been budgeted for items defined as Immediate Needs.

For the purposes of 'bucketizing' the System Expenditure Forecasts in this report, the Replacement Reserves have been subdivided and grouped as follows: Short Term (years 1-3), Near Term (years 4-5), Medium Term (years 6-10), and Long Term (years 11-20).

Key Findings

In an effort to highlight the most significant cost items and not be overwhelmed by the Replacement Reserves report in its totality, a subsection of Key Findings is included within the Executive Summary section of this report. Key Findings typically include repairs or replacements of deficient items within the first five-year window, as well as the most significant high-dollar line items that fall anywhere within the ten-year term. Note that while there is some subjectivity associated with identifying the Key Findings, the Immediate Needs are always included as a subset.

24. Certification

Gilroy Unified School District (the Client) retained Bureau Veritas to perform this Facility Condition Assessment in connection with its continued operation of Rod Kelley Elementary School, 8755 Kern Avenue, Gilroy, CA 95020, the "Property". It is our understanding that the primary interest of the Client is to locate and evaluate materials and building system defects that might significantly affect the value of the property and to determine if the present Property has conditions that will have a significant impact on its continued operations.

The conclusions and recommendations presented in this report are based on the brief review of the plans and records made available to our Project Manager during the site visit, interviews of available property management personnel and maintenance contractors familiar with the Property, appropriate inquiry of municipal authorities, our Project Manager's walk-through observations during the site visit, and our experience with similar properties.

No testing, exploratory probing, dismantling or operating of equipment or in-depth studies were performed unless specifically required under the *Purpose and Scope* section of this report. This assessment did not include engineering calculations to determine the adequacy of the Property's original design or existing systems. Although walk-through observations were performed, not all areas may have been observed (see Section 1 for specific details). There may be defects in the Property, which were in areas not observed or readily accessible, may not have been visible, or were not disclosed by management personnel when questioned. The report describes property conditions at the time that the observations and research were conducted.

This report has been prepared for and is exclusively for the use and benefit of the Client identified on the cover page of this report. The purpose for which this report shall be used shall be limited to the use as stated in the contract between the client and Bureau Veritas.

This report, or any of the information contained therein, is not for the use or benefit of, nor may it be relied upon by any other person or entity, for any purpose without the advance written consent of Bureau Veritas. Any reuse or distribution without such consent shall be at the client's or recipient's sole risk, without liability to Bureau Veritas.

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25. Appendices

- Appendix A: Site Plan(s)
- Appendix B: Pre-Survey Questionnaire(s)
- Appendix C: Accessibility Review and Photos
- Appendix D: Component Condition Report
- Appendix E: Replacement Reserves



Appendix A:

Site Plan(s)

Site Plan



 BUREAU VERITAS	Project Number	Project Name	 N
	171004.25R000-006.017	Rod Kelley Elementary School	
	Source	On-Site Date	
	Google	July 31, 2025	

Appendix B:

Pre-Survey Questionnaire(s)

BV FACILITY CONDITION ASSESSMENT: PRE-SURVEY QUESTIONNAIRE

Building / Facility Name: Rod Kelley Elementary School

Name of person completing form: Marissa Van Patten

Title / Association w/ property: Project Manager

Length of time associated w/ property: 5 Years

Date Completed: 7/30/2025

Phone Number: 4086122720

Method of Completion: INTERVIEW - verbally completed during interview

Directions: Please answer all questions to the best of your knowledge and in good faith. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses.

Data Overview		Response		
1	Year(s) constructed	Constructed	Renovated	
2	Building size in SF	60,000	SF	
3	Major Renovation/Rehabilitation		Year	Additional Detail
		Facade		
		Roof		
		Interiors		
		HVAC		
		Electrical		
		Site Pavement		
		Accessibility		
4	List other significant capital improvements (focus on recent years; provide approximate date).			
5	List any major capital expenditures planned/requested for the next few years. Have they been budgeted?			
6	Describe any on-going extremely problematic, historically chronic, or immediate facility needs.			

Mark the column corresponding to the appropriate response. Please provide additional details in the Comments column, or backup documentation for any **Yes** responses. (**NA** indicates "Not Applicable", **Unk** indicates "Unknown")

Question		Response				Comments
		Yes	No	Unk	NA	
7	Are there any problems with foundations or structures, like excessive settlement?		X			
8	Are there any wall, window, basement or roof leaks?		X			
9	Has any part of the facility ever contained visible suspect mold growth, or have there been any indoor air quality complaints?		X			
10	Are your elevators unreliable, with frequent service calls?				X	
11	Are there any plumbing leaks, water pressure, or clogging/backup issues?		X			
12	Have there been any leaks or pressure problems with natural gas, HVAC piping, or steam service?		X			
13	Are any areas of the facility inadequately heated, cooled or ventilated? Poorly insulated areas?		X			
14	Is the electrical service outdated, undersized, or problematic?		X			
15	Are there any problems or inadequacies with exterior lighting?		X			
16	Is site/parking drainage inadequate, with excessive ponding or other problems?		X			
17	Are there any other unresolved construction defects or significant issues/hazards at the property that have not yet been identified above?		X			
18	ADA: Has an accessibility study been previously performed? If so, when?			X		
19	ADA: Have any ADA improvements been made to the property since original construction? Describe.		X			
20	ADA: Has building management reported any accessibility-based complaints or litigation?		X			
21	Are any areas of the property leased to outside occupants?		X			

Signature of Assessor



Signature of POC

Appendix C: Accessibility Review and Photos

Visual Survey - 2010 ADA Standards for Accessible Design

Property Name: Rod Kelley Elementary School

BV Project Number: 171004.25R000-006.017

Facility History & Interview					
Question		Yes	No	Unk	Comments
1	Has an accessibility study been previously performed? If so, when?			X	
2	Have any ADA improvements been made to the property since original construction? Describe.		X		
3	Has building management reported any accessibility-based complaints or litigation?		X		

Rod Kelley Elementary School: Accessibility Issues				
Category	Major Issues (ADA study recommended)	Moderate Issues (ADA study recommended)	Minor Issues	None*
Parking				X
Exterior Accessible Route				X
Building Entrances				
Interior Accessible Route				
Elevators	NA			
Public Restrooms				
Kitchens/Kitchenettes				X
Playgrounds & Swimming Pools				X
Other	NA			

**Be cognizant that if the "None" box is checked that does not guarantee full compliance; this study is limited in nature*

Rod Kelley Elementary School: Photographic Overview



OVERVIEW OF ACCESSIBLE PARKING AREA



CLOSE-UP OF STALL



ACCESSIBLE PATH



ACCESSIBLE RAMP



ACCESSIBLE ENTRANCE



ADDITIONAL ENTRANCE

Rod Kelley Elementary School: Photographic Overview



ACCESSIBLE INTERIOR PATH



DOOR HARDWARE



TOILET STALL OVERVIEW



RESTROOM ACCESSORIES



KITCHEN PATH OF TRAVEL



KITCHEN OVERVIEW

Rod Kelley Elementary School: Photographic Overview



OVERVIEW OF PLAYGROUND



ACCESSIBLE ROUTE TO PLAYGROUND

Appendix D:

Component Condition Report

Component Condition Report | Rod Kelley Elementary School / Building A

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Good	Exterior Walls, any painted surface, 1-2 Story Building, Prep & Paint	4,200 SF	8	9593726
B2020	Building Exterior	Fair	Glazing, any type by SF	1,100 SF	6	9593728
B2050	Building Exterior	Fair	Exterior Door, Steel, Standard	6	6	9593710
Roofing						
B3010	Roof	Fair	Roofing, Modified Bitumen	3,000 SF	6	9593717
B3010	Roof	Fair	Roofing, Asphalt Shingle, 20-Year Standard	3,000 SF	6	9593712
Interiors						
C1030	Throughout Building	Fair	Interior Door, Wood, Solid-Core	4	4	9593729
C1070	Throughout Building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	5,760 SF	4	9593722
C2010	Throughout Building	Fair	Wall Finishes, Wallpaper	8,640 SF	4	9593718
C2030	Throughout Building	Fair	Flooring, Carpet, Commercial Standard	5,760 SF	5	9593719
Plumbing						
D2010	Throughout Building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	5,760 SF	4	9593725
D2010	Throughout Building	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	6	4	9593715
HVAC						
D3050	Throughout Building	Fair	HVAC System, Ductwork, Low Density	5,760 SF	5	9593721
D3050	Roof	Fair	Packaged Unit, RTU, Pad or Roof-Mounted	6	6	9593720
Fire Protection						
D4010	Throughout Building	NA	Fire Suppression System, Full System Install/Retrofit, Low Density/Complexity, Renovate	5,760 SF	5	9593709
Electrical						
D5030	Throughout Building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	5,760 SF	4	9593714
D5040	Building Exterior	Fair	Exterior Light, any type, w/ LED Replacement	6	5	9593723
D5040	Throughout Building	Good	Interior Lighting System, Full Upgrade, Low Density & Standard Fixtures	5,760 SF	15	9593711

Component Condition Report | Rod Kelley Elementary School / Building A

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Fire Alarm & Electronic Systems						
D6060	Throughout Building	Fair	Intercom/PA System, Public Address Upgrade, Facility-Wide	5,760 SF	6	9593713
D7030	Throughout Building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	5,760 SF	4	9593716
D7050	Throughout Building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	5,760 SF	5	9593724
Equipment & Furnishings						
E2010	Throughout Building	Fair	Casework, Cabinetry, Standard	600 LF	5	9593727

Component Condition Report | Rod Kelley Elementary School / Building B

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Good	Exterior Walls, any painted surface, 1-2 Story Building, Prep & Paint	6,100 SF	8	9594163
B2020	Building Exterior	Fair	Glazing, any type by SF	1,100 SF	6	9594162
B2050	Building Exterior	Fair	Exterior Door, Steel, Standard	9	5	9594145
Roofing						
B3010	Roof	Fair	Roofing, Modified Bitumen	3,500 SF	5	9594149
B3010	Roof	Fair	Roofing, Asphalt Shingle, 20-Year Standard	3,000 SF	5	9594151
Interiors						
C1070	Throughout Building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	5,900 SF	4	9594147
C1090	Restrooms	Fair	Toilet Partitions, Plastic/Laminate	8	5	9594146
C2010	Restrooms	Fair	Wall Finishes, Laminated Paneling (FRP)	700 SF	5	9594156
C2010	Throughout Building	Fair	Wall Finishes, Wallpaper	9,140 SF	4	9594164
C2030	Restrooms	Fair	Flooring, Ceramic Tile	300 SF	4	9594157
C2030	Throughout Building	Fair	Flooring, Carpet, Commercial Standard	6,300 SF	5	9594159
C2050	Throughout Building	Fair	Ceiling Finishes, any flat surface, Prep & Paint	700 SF	4	9594166
Plumbing						

Component Condition Report | Rod Kelley Elementary School / Building B

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2010	Throughout Building	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	6	6	9594165
D2010	Restrooms	Fair	Urinal, Standard	5	6	9594154
D2010	Restrooms	Fair	Sink/Lavatory, Service Sink, Wall-Hung	2	5	9594152
D2010	Throughout Building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	6,560 SF	4	9600245
D2010	Restrooms	Fair	Toilet, Commercial Water Closet	8	5	9594161
D2010	Building Exterior	Fair	Drinking Fountain, Wall-Mounted, Bi-Level	1	4	9594158
HVAC						
D3050	Throughout Building	Fair	HVAC System, Ductwork, Low Density	6,560 SF	6	9594155
Fire Protection						
D4010	Throughout Building	NA	Fire Suppression System, Full System Install/Retrofit, Medium Density/Complexity, Renovate	6,560 SF	5	9594167
D4010	Throughout Building	Fair	Fire Suppression System, Existing Sprinkler Heads, by SF	6,560 SF	6	9594160
Electrical						
D5020	Electrical Room	Fair	Distribution Panel, 120/208 V	1	5	9594153
D5030	Throughout Building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	6,560 SF	4	9594150
D5040	Throughout	Good	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	6,560 SF	18	9606966
D5040	Building Exterior	Fair	Exterior Light, any type, w/ LED Replacement	6	5	9594168
Fire Alarm & Electronic Systems						
D6060	Throughout Building	Fair	Intercom/PA System, Public Address Upgrade, Facility-Wide	6,560 SF	5	9594144
D7030	Throughout Building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	6,560 SF	4	9594148
D7050	Throughout Building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	6,560 SF	6	9594143

Component Condition Report | Rod Kelley Elementary School / Building C

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Good	Exterior Walls, any painted surface, 1-2 Story Building, Prep & Paint	6,100 SF	8	9594195

Component Condition Report | Rod Kelley Elementary School / Building C

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
B2020	Building Exterior	Fair	Glazing, any type by SF	1,100 SF	6	9594200
B2050	Building Exterior	Fair	Exterior Door, Steel, Standard	9	5	9594212
Roofing						
B3010	Roof	Fair	Roofing, Asphalt Shingle, 20-Year Standard	3,000 SF	6	9594211
B3010	Roof	Fair	Roofing, Modified Bitumen	3,500 SF	5	9594204
Interiors						
C1070	Throughout Building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	5,900 SF	5	9594220
C1090	Restrooms	Fair	Toilet Partitions, Plastic/Laminate	8	5	9594217
C2010	Throughout Building	Fair	Wall Finishes, Wallpaper	9,300 SF	4	9594199
C2010	Restrooms	Fair	Wall Finishes, Laminated Paneling (FRP)	700 SF	5	9594206
C2030	Restrooms	Fair	Flooring, Ceramic Tile	300 SF	4	9594218
C2030	Throughout Building	Fair	Flooring, Carpet, Commercial Standard	6,300 SF	5	9594201
C2050	Throughout Building	Fair	Ceiling Finishes, any flat surface, Prep & Paint	700 SF	5	9594216
Plumbing						
D2010	Restrooms	Fair	Sink/Lavatory, Service Sink, Wall-Hung	2	5	9594215
D2010	Building Exterior	Fair	Drinking Fountain, Wall-Mounted, Bi-Level	1	4	9594221
D2010	Throughout Building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	6,560 SF	4	9594208
D2010	Restrooms	Fair	Toilet, Child-Sized	3	15	9594219
D2010	Restrooms	Fair	Toilet, Commercial Water Closet	8	15	9594214
D2010	Restrooms	Fair	Urinal, Standard	5	5	9594210
D2010	Throughout Building	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	6	5	9594213
HVAC						
D3050	Throughout Building	Fair	HVAC System, Ductwork, Medium Density	6,560 SF	5	9594207
Fire Protection						
D4010	Throughout Building	NA	Fire Suppression System, Full System Install/Retrofit, Medium Density/Complexity, Renovate	6,560 SF	4	9594202

Component Condition Report | Rod Kelley Elementary School / Building C

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D4010	Throughout Building	Fair	Fire Suppression System, Existing Sprinkler Heads, by SF	6,560 SF	6	9594194
Electrical						
D5020	Electrical Room	Fair	Distribution Panel, 120/208 V	1	5	9594209
D5030	Throughout Building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	6,560 SF	4	9594198
D5040	Building Exterior	Fair	Exterior Light, any type, w/ LED Replacement	9	5	9594197
D5040	Throughout	Good	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	65,060 SF	18	9606988
Fire Alarm & Electronic Systems						
D6060	Throughout Building	Fair	Intercom/PA System, Public Address Upgrade, Facility-Wide	6,560 SF	5	9594205
D7030	Throughout Building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	6,560 SF	4	9594203
D7050	Throughout Building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	6,560 SF	5	9594196

Component Condition Report | Rod Kelley Elementary School / Building D

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Good	Exterior Walls, any painted surface, Prep & Paint	2,500 SF	8	9600434
B2020	Building Exterior	Fair	Glazing, any type by SF	400 SF	5	9600451
B2050	Building Exterior	Fair	Exterior Door, Steel, Standard	6	5	9600444
Roofing						
B3010	Roof	Fair	Roofing, Modified Bitumen	2,000 SF	5	9600458
B3010	Roof	Fair	Roofing, Asphalt Shingle, 20-Year Standard	1,500 SF	5	9600452
Interiors						
C1070	Throughout Building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	3,000 SF	5	9600445
C2010	Restrooms	Fair	Wall Finishes, Laminated Paneling (FRP)	300 SF	5	9600447
C2010	Throughout Building	Fair	Wall Finishes, Wallpaper	4,800 SF	5	9600441
C2030	Throughout Building	Fair	Flooring, Carpet, Commercial Standard	1,500 SF	5	9600436

Component Condition Report | Rod Kelley Elementary School / Building D

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
C2030	Throughout Building	Fair	Flooring, Vinyl Tile (VCT)	1,500 SF	5	9600477
C2030	Restrooms	Fair	Flooring, Ceramic Tile	200 SF	3	9600439
C2050	Throughout Building	Fair	Ceiling Finishes, any flat surface, Prep & Paint	300 SF	5	9600456
Plumbing						
D2010	Throughout Building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	3,307 SF	3	9600438
D2010	Restrooms	Fair	Sink/Lavatory, Service Sink, Wall-Hung	2	5	9600440
D2010	Building Exterior	Fair	Drinking Fountain, Wall-Mounted, Single-Level	1	4	9600454
D2010	Throughout Building	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	6	5	9600433
D2010	Restrooms	Fair	Toilet, Child-Sized	2	5	9600443
HVAC						
D3050	Throughout Building	Fair	HVAC System, Ductwork, Medium Density	3,307 SF	5	9600435
Fire Protection						
D4010	Throughout Building	Fair	Fire Suppression System, Existing Sprinkler Heads, by SF	3,307 SF	5	9600455
D4010	Throughout Building	NA	Fire Suppression System, Full System Install/Retrofit, Low Density/Complexity, Install	3,307 SF	5	9600450
Electrical						
D5030	Throughout Building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	3,307 SF	3	9600432
D5040	Throughout Building	Good	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	3,307 SF	15	9600449
D5040	Building Exterior	Fair	Exterior Light, any type, w/ LED Replacement	6	5	9600446
Fire Alarm & Electronic Systems						
D6060	Throughout Building	Fair	Intercom/PA System, Public Address Upgrade, Facility-Wide	3,307 SF	5	9600437
D7030	Throughout Building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	3,307 SF	5	9600442
D7050	Throughout Building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	3,307 SF	4	9600478

Component Condition Report | Rod Kelley Elementary School / Building E

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Good	Exterior Walls, any painted surface, Prep & Paint	5,738 SF	8	9600749
B2020	Building Exterior	Fair	Glazing, any type by SF	1,013 SF	5	9600729
B2050	Building Exterior	Fair	Exterior Door, Aluminum-Framed & Glazed, Standard Swing	7	5	9600732
Roofing						
B3010	Roof	Fair	Roofing, Asphalt Shingle, 20-Year Standard	5,000 SF	5	9600741
B3010	Roof	Fair	Roofing, Modified Bitumen	7,000 SF	5	9600738
Interiors						
C1030	Throughout Building	Fair	Interior Door, Wood, Solid-Core Commercial	25	3	9601176
C1030	Throughout Building	Fair	Door Hardware, School, per Door	32	5	9601177
C1070	Throughout Building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	10,000 SF	5	9600737
C1090	Restrooms	Fair	Toilet Partitions, Plastic/Laminate	5	5	9601180
C2010	Restrooms	Fair	Wall Finishes, Ceramic Tile	500 SF	3	9600730
C2010	Restrooms	Fair	Wall Finishes, Laminated Paneling (FRP)	500 SF	5	9601178
C2010	Throughout Building	Fair	Wall Finishes, Wallpaper	1,000 SF	5	9601142
C2010	Throughout Building	Fair	Wall Finishes, any surface, Prep & Paint	15,611 SF	5	9600745
C2030	Throughout Building	Fair	Flooring, any surface, w/ Elastomeric Coating, Prep & Paint	2,000 SF	5	9601179
C2030	Restrooms	Fair	Flooring, Ceramic Tile	500 SF	3	9600726
C2030	Throughout Building	Fair	Flooring, Carpet, Commercial Standard	504 SF	5	9600746
C2030	Throughout Building	Fair	Flooring, Vinyl Tile (VCT)	8,000 SF	5	9600743
C2050	Throughout Building	Fair	Ceiling Finishes, any flat surface, Prep & Paint	1,074 SF	5	9600747
Plumbing						
D2010	Utulity Room	Fair	Water Heater, Gas, Commercial	1	8	9600976
D2010	Breakroom	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	1	5	9600733
D2010	Building Exterior	Fair	Drinking Fountain, Wall-Mounted, Single-Level	2	4	9600742

Component Condition Report | Rod Kelley Elementary School / Building E

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2010	Restrooms	Fair	Toilet, Commercial Water Closet	5	5	9600734
D2010	Throughout Building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	11,074 SF	3	9600725
D2010	Restrooms	Fair	Sink/Lavatory, Service Sink, Wall-Hung	6	5	9600728
D2010		Fair	Urinal, Standard	1	5	9601241
HVAC						
D3030		Fair	Split System Ductless, Single Zone, Condenser & Evaporator, 1.5 to 2 TON	1	5	9601252
D3050	Throughout Building	Fair	HVAC System, Ductwork, Medium Density	11,074 SF	5	9600731
Fire Protection						
D4010	Throughout Building	Fair	Fire Suppression System, Existing Sprinkler Heads, by SF	11,074 SF	5	9600735
Electrical						
D5020		Fair	Secondary Transformer, Dry, Stepdown, 75 KVA	1	5	9601238
D5020		Fair	Secondary Transformer, Dry, Stepdown, 30 KVA	1	5	9601235
D5020		Fair	Switchboard, 277/480 V, 2000 AMP	1	3	9601234
D5020		Fair	Distribution Panel, 120/208 V, 400 AMP	1	5	9601237
D5030	Throughout Building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	11,074 SF	3	9600727
D5040	Throughout Building	Good	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	11,074 SF	15	9600748
D5040	Building Exterior	Fair	Exterior Light, any type, w/ LED Replacement	6	5	9600740
Fire Alarm & Electronic Systems						
D6060	Throughout Building	Fair	Intercom/PA System, Public Address Upgrade, Facility-Wide	11,074 SF	5	9600739
D7030	Throughout Building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	11,074 SF	5	9600744
D7030		Fair	Surveillance Components, Fiberoptic Receiver Rack Mount & Power Supply, Closed Circuit	1	5	9601240
D7050	Throughout Building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	11,074 SF	4	9600736
D7050		Fair	Fire Alarm Panel, Fully Addressable	1	4	9601236
Equipment & Furnishings						
E1030		Fair	Foodservice Equipment, Food Warmer, Proofing Cabinet on Wheels	1	5	9601250

Component Condition Report | Rod Kelley Elementary School / Building E

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
E1030		Fair	Foodservice Equipment, Sink, 1-Bowl	1	5	9601246
E1030		Fair	Foodservice Equipment, Range/Oven, 4-Burner w/ Griddle	1	5	9601242
E1030		Fair	Foodservice Equipment, Convection Oven, Double	1	5	9601243
E1030		Fair	Foodservice Equipment, Walk-In, Condenser for Refrigerator/Freezer	1	5	9601249
E1030		Fair	Foodservice Equipment, Walk-In, Evaporator for Refrigerator/Freezer	1	5	9601248
E1030		Fair	Commercial Kitchen Line, Serving/Warming Equipment	2 LF	5	9601251
E1030		Fair	Foodservice Equipment, Walk-In, Combination Freezer/Refrigerator	1	5	9601247
E1030		Fair	Foodservice Equipment, Exhaust Hood, 3 to 6 LF	1	5	9601244
E1030		Fair	Foodservice Equipment, Sink, 3-Bowl	1	5	9601245
E2010		Fair	Casework, Cabinetry, Standard	100 LF	5	9601239

Component Condition Report | Rod Kelley Elementary School / Building F

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Good	Exterior Walls, any painted surface, Prep & Paint	1,100 SF	8	9601404
B2020	Building Exterior	Fair	Glazing, any type by SF	200 SF	5	9601412
B2050	Building Exterior	Fair	Exterior Door, Steel, Commercial	1	3	9601408
Roofing						
B3010	Roof	Fair	Roofing, Metal	1,000 SF	3	9601416
B3020	Roof	Fair	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings	50 LF	5	9601410
Interiors						
C1070	Throughout Building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	1,000 SF	5	9601418
C2010	Throughout Building	Fair	Wall Finishes, Tackable Panel	1,500 SF	5	9601421
C2030	Throughout Building	Fair	Flooring, Vinyl Tile (VCT)	1,000 SF	5	9601414
Plumbing						

Component Condition Report | Rod Kelley Elementary School / Building F

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D2010	Throughout Building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	1,000 SF	3	9601409
D2010	Throughout Building	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	1	5	9601419
HVAC						
D3030	Building Exterior	Fair	Heat Pump, Packaged & Wall-Mounted	1	5	9601405
D3050	Throughout Building	Fair	HVAC System, Ductwork, Medium Density	1,000 SF	5	9601420
Fire Protection						
D4010	Throughout Building	NA	Fire Suppression System, Full System Install/Retrofit, Medium Density/Complexity, Renovate	1,000 SF	5	9601403
Electrical						
D5030	Throughout Building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	1,000 SF	3	9601413
D5040	Building Exterior	Fair	Exterior Light, any type, w/ LED Replacement	1	5	9601415
D5040	Throughout Building	Good	Interior Lighting System, Full Upgrade, High Density & Standard Fixtures	1,000 SF	18	9601407
Fire Alarm & Electronic Systems						
D6060	Throughout Building	Fair	Intercom/PA System, Public Address Upgrade, Facility-Wide	1,000 SF	5	9601406
D7030	Throughout Building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	1,000 SF	5	9601417
D7050	Throughout Building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	1,000 SF	5	9601411

Component Condition Report | Rod Kelley Elementary School / Building G

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Excellent	Exterior Walls, any painted surface, Prep & Paint	4,845 SF	9	9594590
B2020	Building Exterior	Fair	Glazing, any type by SF	855 SF	18	9594589
B2050	Building Exterior	Good	Exterior Door, Steel, Commercial	2	28	9594595
B2050	Building Exterior	Fair	Exterior Door, Aluminum-Framed & Glazed, Standard Swing	2	17	9594601
Roofing						
B3010	Roof	Good	Roofing, Metal Standing Seam	3,000 SF	28	9594591

Component Condition Report | Rod Kelley Elementary School / Building G

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
B3060	Roof	Fair	Roof Skylight, per SF of glazing	250 SF	18	9606762
B3080	Roof	Fair	Soffit/Fascia, Gypsum Board	575 SF	8	9606541
Interiors						
C1030	Throughout	Good	Interior Door, Wood, Solid-Core Commercial	1	28	9606760
C1030	Office	Good	Interior Door, Aluminum-Framed & Glazed, Standard Swing	1	27	9606761
C2010	Throughout	Fair	Wall Finishes, any surface, Prep & Paint	6,500 SF	5	9606746
C2030	Throughout	Fair	Flooring, Carpet, Commercial Standard	3,500 SF	5	9606748
C2030	Throughout	Fair	Flooring, any surface, w/ Elastomeric Coating, Prep & Paint	211 SF	3	9606749
C2050	Throughout	Fair	Ceiling Finishes, exposed irregular elements, Prep & Paint	3,000 SF	5	9606747
C2050	Throughout	Fair	Ceiling Finishes, Wood Paneling	711 SF	18	9606751
Plumbing						
D2010		Fair	Drinking Fountain, Floor-Mounted, Interior Basic	1	3	9606750
D2010	Restrooms	Fair	Sink/Lavatory, Wall-Hung	2	18	9594602
D2010	Throughout Building	Good	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	3,711 SF	28	9594600
D2010	Restrooms	Fair	Toilet, Commercial Water Closet	2	18	9594593
HVAC						
D3050	Site General	Fair	Packaged Unit, RTU, Pad or Roof-Mounted, 8 to 10 TON	1	7	9594605
D3050	Throughout Building	Fair	HVAC System, Ductwork, Medium Density	3,711 SF	18	9594592
Fire Protection						
D4010	Throughout Building	Fair	Fire Suppression System, Existing Sprinkler Heads, by SF	3,711 SF	13	9594599
Electrical						
D5030	Throughout	Good	Electrical System, Wiring & Switches, Average or Low Density/Complexity	3,711 SF	27	9606759
D5040	Throughout	Fair	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	3,711 SF	8	9606756
Fire Alarm & Electronic Systems						
D6060	Throughout Building	Fair	Intercom/PA System, Public Address Upgrade, Facility-Wide	3,711 SF	8	9594598

Component Condition Report | Rod Kelley Elementary School / Building G

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D7030	Throughout Building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	3,711 SF	3	9594603
D7050	Throughout	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Install	3,711 SF	8	9606757
Equipment & Furnishings						
E2010	Throughout	Fair	Library Shelving, Single-Faced, up to 90" Height	200 LF	8	9606758

Component Condition Report | Rod Kelley Elementary School / Building H

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Good	Exterior Walls, any painted surface, 1-2 Story Building, Prep & Paint	3,468 SF	8	9606774
B2020	Building Exterior	Fair	Glazing, any type by SF	600 SF	6	9606778
B2050	Building Exterior	Fair	Exterior Door, Steel, Standard	8	5	9606782
Roofing						
B3010	Roof	Fair	Roofing, Metal Standing Seam	5,500 SF	4	9606777
Interiors						
C1030	Building Exterior	Fair	Door Hardware, School, per Door	8	5	9606926
C1070	Throughout Building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	5,500 SF	4	9606775
C2010	Throughout Building	Fair	Wall Finishes, Tackable Panel	8,250 SF	5	9606763
C2030	Throughout	Fair	Flooring, Vinyl Tile (VCT)	2,000 SF	4	9606781
C2030	Throughout Building	Fair	Flooring, Carpet, Commercial Standard	2,500 SF	5	9606773
Plumbing						
D2010	Throughout Building	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	4	6	9606785
D2010	Throughout Building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	5,500 SF	4	9606770
HVAC						
D3050	Throughout Building	Fair	HVAC System, Ductwork, Low Density	5,500 SF	6	9606771
Fire Protection						

Component Condition Report | Rod Kelley Elementary School / Building H

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D4010	Throughout Building	NA	Fire Suppression System, Full System Install/Retrofit, Medium Density/Complexity, Renovate	5,500 SF	5	9606765
Electrical						
D5030	Throughout Building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	5,500 SF	4	9606769
D5040	Throughout Building	Good	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	5,500 SF	18	9606764
D5040	Building Exterior	Fair	Exterior Light, any type, w/ LED Replacement	6	5	9606786
Fire Alarm & Electronic Systems						
D6020	Throughout Building	Fair	Low Voltage System, Facility-Wide, Phone & Data Lines	5,500 SF	5	9606772
D6060	Throughout Building	Fair	Intercom/PA System, Public Address Upgrade, Facility-Wide	5,500 SF	5	9606927
D7030	Throughout	Fair	Surveillance Components, Fiberoptic Receiver Rack Mount & Power Supply, Closed Circuit	1	5	9606925
D7030	Throughout Building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	5,500 SF	4	9606768
D7050	Throughout Building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	5,500 SF	6	9606766
Equipment & Furnishings						
E2010	Throughout	Fair	Casework, Cabinetry, Standard	50 LF	5	9606924

Component Condition Report | Rod Kelley Elementary School / Portable 1

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Good	Exterior Walls, any painted surface, Prep & Paint	1,500 SF	8	9597332
B2020	Building Exterior	Fair	Glazing, any type by SF	300 SF	6	9597334
B2050	Building Exterior	Fair	Exterior Door, Steel, Commercial	2	4	9597345
Roofing						
B3010	Roof	Fair	Roofing, Metal	2,000 SF	4	9597339
B3020	Roof	Fair	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings	150 LF	5	9597338
Interiors						
C2010	Throughout Building	Fair	Wall Finishes, Tackable Panel	3,000 SF	4	9597344

Component Condition Report | Rod Kelley Elementary School / Portable 1

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
C2030	Throughout Building	Fair	Flooring, Vinyl Tile (VCT)	100 SF	4	9597330
C2030	Throughout Building	Fair	Flooring, Carpet, Commercial Standard	1,900 SF	5	9597329
C2050	Throughout Building	Fair	Ceiling Finishes, Wood Paneling	2,000 SF	5	9597336
HVAC						
D3030	Building Exterior	Fair	Heat Pump, Packaged & Wall-Mounted	1	5	9597342
D3050	Throughout Building	Fair	HVAC System, Ductwork, Medium Density	2,000 SF	16	9597343
Fire Protection						
D4010	Throughout Building	NA	Fire Suppression System, Full System Install/Retrofit, Medium Density/Complexity, Renovate	2,000 SF	5	9597337
Electrical						
D5030	Throughout Building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	2,000 SF	4	9597346
D5040	Building Exterior	Fair	Exterior Light, any type, w/ LED Replacement	3	5	9597340
D5040	Throughout	Good	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures	2,000 SF	18	9606989
Fire Alarm & Electronic Systems						
D6060	Throughout Building	Fair	Intercom/PA System, Public Address Upgrade, Facility-Wide	2,000 SF	5	9597335
D7030		Fair	Surveillance Components, Fiberoptic Receiver Rack Mount & Power Supply, Closed Circuit	1	5	9607011
D7030	Throughout Building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	2,000 SF	4	9597333
D7050	Throughout Building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	2,000 SF	5	9597341

Component Condition Report | Rod Kelley Elementary School / Portable 10

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Good	Exterior Walls, any painted surface, Prep & Paint	1,500 SF	8	9598718
B2020	Building Exterior	Fair	Glazing, any type by SF	300 SF	14	9598720
B2050	Building Exterior	Fair	Exterior Door, Steel, Commercial	2	24	9598709
Roofing						

Component Condition Report | Rod Kelley Elementary School / Portable 10

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
B3010	Roof	Fair	Roofing, Metal	2,000 SF	24	9598708
B3020	Roof	Fair	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings	100 LF	4	9598707
Interiors						
C1030	Throughout	Fair	Interior Door, Wood, Solid-Core Commercial	2	24	9606043
C1070	Throughout Building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	2,000 SF	9	9598715
C2010	Throughout Building	Fair	Wall Finishes, Wallpaper	2,800 SF	5	9598722
C2010	Throughout Building	Fair	Wall Finishes, Laminated Paneling (FRP)	300 SF	14	9606037
C2030	Throughout Building	Good	Flooring, Carpet, Commercial Tile	1,800 SF	8	9606039
C2030	Throughout Building	Fair	Flooring, Vinyl Sheeting	200 SF	5	9598712
Plumbing						
D2010	Throughout Building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	2,000 SF	24	9606040
D2010	Throughout Building	Fair	Drinking Fountain, Wall-Mounted, Bi-Level	2	10	9606049
D2010	restrooms	Fair	Toilet, Commercial Water Closet	2	14	9606045
D2010	Throughout Building	Fair	Sink/Lavatory, Drop-In Style, Stainless Steel	2	14	9606041
HVAC						
D3030	Building Exterior	Fair	Heat Pump, Packaged & Wall-Mounted	2	4	9598714
D3050	Throughout Building	Fair	HVAC System, Ductwork, Medium Density	2,000 SF	14	9598713
Fire Protection						
D4010	Throughout Building	NA	Fire Suppression System, Full System Install/Retrofit, Medium Density/Complexity, Renovate	2,000 SF	5	9598717
Electrical						
D5020	Throughout	Fair	Distribution Panel, 120/240 V, 100 AMP	2	14	9606048
D5030	Throughout Building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	2,000 SF	24	9598711
D5040	Building Exterior	Fair	Exterior Light, any type, w/ LED Replacement	4	4	9598721
D5040	Throughout Building	Fair	Interior Lighting System, Full Upgrade, High Density & Standard Fixtures	2,000 SF	4	9598716
Fire Alarm & Electronic Systems						

Component Condition Report | Rod Kelley Elementary School / Portable 10

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D6060	Throughout Building	Fair	Intercom/PA System, Public Address Upgrade, Facility-Wide	2,000 SF	4	9598724
D7030	Throughout Building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	2,000 SF	5	9598723
D7030	Throughout Building	Fair	Surveillance Components, Fiberoptic Receiver Rack Mount & Power Supply, Closed Circuit	1	5	9606047
D7050	Throughout	Fair	Fire Alarm Panel, Multiplex	1	5	9606044
D7050	Throughout Building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	2,000 SF	4	9598710

Equipment & Furnishings

E2010	Throughout	Fair	Casework, Cabinetry, Standard	20 LF	4	9606042
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Component Condition Report | Rod Kelley Elementary School / Portable 2

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Good	Exterior Walls, any painted surface, Prep & Paint	1,100 SF	8	9597352
B2020	Building Exterior	Fair	Glazing, any type by SF	200 SF	14	9597362
B2050	Building Exterior	Fair	Exterior Door, Steel, Commercial	1	24	9597364
Roofing						
B3010	Roof	Fair	Roofing, Metal	1,000 SF	24	9597355
B3020	Roof	Fair	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings	50 LF	4	9597357
Interiors						
C1070	Throughout Building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	1,000 SF	9	9597361
C2010	Throughout Building	Fair	Wall Finishes, Tackable panel	1,500 SF	5	9597350
C2030	Throughout Building	Fair	Flooring, Carpet, Commercial Standard	1,000 SF	5	9597351
Plumbing						
D2010	Throughout Building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	1,000 SF	24	9597365
D2010	Throughout Building	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	1	14	9597354
HVAC						

Component Condition Report | Rod Kelley Elementary School / Portable 2

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D3030	Building Exterior	Fair	Heat Pump, Packaged & Wall-Mounted	1	4	9597363
D3050	Throughout Building	Fair	HVAC System, Ductwork, Medium Density	1,000 SF	14	9597348
Fire Protection						
D4010	Throughout Building	NA	Fire Suppression System, Full System Install/Retrofit, Medium Density/Complexity, Renovate	1,000 SF	5	9602795
Electrical						
D5030	Throughout Building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	1,000 SF	24	9597359
D5040	Throughout Building	Good	Interior Lighting System, Full Upgrade, High Density & Standard Fixtures	1,000 SF	18	9597349
D5040	Building Exterior	Fair	Exterior Light, any type, w/ LED Replacement	2	4	9597353
Fire Alarm & Electronic Systems						
D6020	Throughout	Fair	Low Voltage System, Facility-Wide, Phone & Data Lines	1,000 SF	4	9602691
D6060	Throughout Building	Fair	Intercom/PA System, Public Address Upgrade, Facility-Wide	1,000 SF	4	9597356
D7030	Throughout Building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	1,000 SF	4	9597366
D7050	Throughout Building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	1,000 SF	4	9597358
Equipment & Furnishings						
E2010	Throughout	Fair	Casework, Cabinetry, Standard	10 LF	4	9602694

Component Condition Report | Rod Kelley Elementary School / Portable 3

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Good	Exterior Walls, any painted surface, Prep & Paint	1,100 SF	8	9597375
B2020	Building Exterior	Fair	Glazing, any type by SF	200 SF	14	9597380
B2050	Building Exterior	Fair	Exterior Door, Steel, Commercial	1	24	9597369
Roofing						
B3010	Roof	Fair	Roofing, Metal	1,000 SF	24	9597376
B3020	Roof	Fair	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings	50 LF	4	9597385

Component Condition Report | Rod Kelley Elementary School / Portable 3

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Interiors						
C1070	Throughout Building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	1,000 SF	9	9597383
C2010	Throughout Building	Fair	Wall Finishes, Tackable Panel	1,500 SF	5	9597368
C2030	Throughout Building	Fair	Flooring, Carpet, Commercial Standard	1,000 SF	5	9597373
Plumbing						
D2010	Throughout Building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	1,000 SF	24	9597370
D2010	Throughout Building	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	1	14	9597374
HVAC						
D3030	Building Exterior	Fair	Heat Pump, Packaged & Wall-Mounted	1	4	9597382
D3050	Throughout Building	Fair	HVAC System, Ductwork, Medium Density	1,000 SF	14	9597372
Fire Protection						
D4010	Throughout Building	NA	Fire Suppression System, Full System Install/Retrofit, Medium Density/Complexity, Renovate	1,000 SF	5	9597378
Electrical						
D5030	Throughout Building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	1,000 SF	24	9597377
D5040	Throughout Building	Good	Interior Lighting System, Full Upgrade, High Density & Standard Fixtures	1,000 SF	18	9597381
D5040	Building Exterior	Fair	Exterior Light, any type, w/ LED Replacement	2	4	9597379
Fire Alarm & Electronic Systems						
D6020	Throughout	Fair	Low Voltage System, Facility-Wide, Phone & Data Lines	1,000 SF	4	9602898
D6060	Throughout Building	Fair	Intercom/PA System, Public Address Upgrade, Facility-Wide	1,000 SF	4	9597371
D7030	Throughout Building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	1,000 SF	5	9597367
D7050	Throughout Building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	1,000 SF	4	9597384
Equipment & Furnishings						
E2010	Throughout Building	Fair	Casework, Cabinetry, Standard	10 LF	4	9602895

Component Condition Report | Rod Kelley Elementary School / Portable 4

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Good	Exterior Walls, any painted surface, Prep & Paint	1,100 SF	8	9597398
B2020	Building Exterior	Fair	Glazing, any type by SF	200 SF	14	9597402
B2050	Building Exterior	Fair	Exterior Door, Steel, Commercial	2	24	9597415
Roofing						
B3010	Roof	Fair	Roofing, Metal	1,000 SF	24	9597388
B3020	Roof	Fair	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings	50 LF	4	9597392
Interiors						
C1070	Throughout Building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	1,000 SF	9	9597409
C2010	Throughout Building	Fair	Wall Finishes, Tackable Panel	1,500 SF	5	9597408
C2030	Throughout Building	Fair	Flooring, Carpet, Commercial Standard	1,000 SF	5	9597418
HVAC						
D3030	Building Exterior	Fair	Heat Pump, Packaged & Wall-Mounted	1	4	9597397
D3050	Throughout Building	Fair	HVAC System, Ductwork, Medium Density	1,000 SF	14	9597419
Fire Protection						
D4010	Throughout Building	NA	Fire Suppression System, Full System Install/Retrofit, Medium Density/Complexity, Renovate	1,000 SF	5	9597410
Electrical						
D5020	Throughout Building	Fair	Distribution Panel, 120/240 V, 100 AMP	1	14	9597414
D5030	Throughout Building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	1,000 SF	24	9597389
D5040	Throughout Building	Good	Interior Lighting System, Full Upgrade, High Density & Standard Fixtures	1,000 SF	18	9597393
D5040	Building Exterior	Fair	Exterior Light, any type, w/ LED Replacement	2	4	9597400
Fire Alarm & Electronic Systems						
D6060	Throughout Building	Fair	Intercom/PA System, Public Address Upgrade, Facility-Wide	1,000 SF	4	9597386
D7030	Throughout Building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	1,000 SF	5	9597394
D7050	Throughout Building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	1,000 SF	4	9597422

Component Condition Report | Rod Kelley Elementary School / Portable 5

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Good	Exterior Walls, any painted surface, Prep & Paint	1,100 SF	8	9597433
B2020	Building Exterior	Fair	Glazing, any type by SF	200 SF	14	9597442
B2050	Building Exterior	Fair	Exterior Door, Steel, Commercial	1	24	9597436
Roofing						
B3010	Roof	Fair	Roofing, Metal	1,000 SF	24	9597427
B3020	Roof	Fair	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings	50 LF	4	9597441
Interiors						
C1070	Throughout Building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	1,000 SF	9	9597425
C2010	Throughout Building	Fair	Wall Finishes, Tackable Panel	1,500 SF	5	9597434
C2030	Throughout Building	Fair	Flooring, Carpet, Commercial Standard	1,000 SF	5	9597438
Plumbing						
D2010	Throughout Building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	1,000 SF	24	9597437
D2010	Throughout Building	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	1	14	9603289
HVAC						
D3030	Building Exterior	Fair	Heat Pump, Packaged & Wall-Mounted	1	4	9597429
D3050	Throughout Building	Fair	HVAC System, Ductwork, Medium Density	1,000 SF	14	9597435
Fire Protection						
D4010	Throughout Building	NA	Fire Suppression System, Full System Install/Retrofit, Medium Density/Complexity, Install	1,000 SF	5	9597439
Electrical						
D5030	Throughout Building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	1,000 SF	24	9597440
D5040	Throughout Building	Good	Interior Lighting System, Full Upgrade, High Density & Standard Fixtures	1,000 SF	18	9597431
D5040	Building Exterior	Fair	Exterior Light, any type, w/ LED Replacement	2	4	9597430
Fire Alarm & Electronic Systems						
D6020	Throughout	Fair	Low Voltage System, Facility-Wide, Phone & Data Lines	1,000 SF	4	9603291

Component Condition Report | Rod Kelley Elementary School / Portable 5

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D6060	Throughout Building	Fair	Intercom/PA System, Public Address Upgrade, Facility-Wide	1,000 SF	4	9597428
D7030	Throughout Building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	1,000 SF	5	9597432
D7050	Throughout Building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	1,000 SF	4	9597424
Equipment & Furnishings						
E2010	Throughout Building	Fair	Casework, Cabinetry, Standard	10 LF	4	9603290

Component Condition Report | Rod Kelley Elementary School / Portable 6

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Good	Exterior Walls, any painted surface, Prep & Paint	1,100 SF	8	9598794
B2020	Building Exterior	Fair	Glazing, any type by SF	200 SF	14	9598783
B2050	Building Exterior	Fair	Exterior Door, Steel, Commercial	1	24	9598796
Roofing						
B3010	Roof	Fair	Roofing, Metal	1,000 SF	24	9598785
B3020	Roof	Fair	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings	50 LF	4	9598782
Interiors						
C1070	Throughout Building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	1,000 SF	9	9598791
C2010	Throughout Building	Fair	Wall Finishes, Wallpaper	1,500 SF	5	9598787
C2030	Throughout Building	Fair	Flooring, Vinyl Tile (VCT)	200 SF	5	9603979
C2030	Throughout Building	Fair	Flooring, Carpet, Commercial Standard	800 SF	5	9598786
Plumbing						
D2010	Throughout Building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	1,000 SF	24	9598795
D2010	Throughout Building	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	1	14	9598799
HVAC						
D3030	Building Exterior	Fair	Heat Pump, Packaged & Wall-Mounted	1	4	9598797

Component Condition Report | Rod Kelley Elementary School / Portable 6

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D3050	Throughout Building	Fair	HVAC System, Ductwork, Medium Density	1,000 SF	14	9598790
Fire Protection						
D4010	Throughout Building	Fair	Fire Suppression System, Existing Sprinkler Heads, by SF	1,000 SF	9	9598800
Electrical						
D5030	Throughout Building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	1,000 SF	24	9598784
D5040	Building Exterior	Fair	Exterior Light, any type, w/ LED Replacement	2	4	9598798
D5040	Throughout Building	Good	Interior Lighting System, Full Upgrade, High Density & Standard Fixtures	1,000 SF	18	9598792
Fire Alarm & Electronic Systems						
D6060	Throughout Building	Fair	Intercom/PA System, Public Address Upgrade, Facility-Wide	1,000 SF	4	9598788
D7030	Throughout Building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	1,000 SF	5	9598789
D7050	Throughout Building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	1,000 SF	4	9598793
Equipment & Furnishings						
E2010	Throughout Building	Fair	Casework, Cabinetry, Standard	10 LF	4	9604045

Component Condition Report | Rod Kelley Elementary School / Portable 7

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Good	Exterior Walls, any painted surface, Prep & Paint	1,100 SF	8	9598768
B2020	Building Exterior	Fair	Glazing, any type by SF	200 SF	14	9598779
B2050	Building Exterior	Fair	Exterior Door, Steel, Commercial	1	24	9598781
Roofing						
B3010	Roof	Fair	Roofing, Metal	1,000 SF	24	9598777
B3020	Roof	Fair	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings	50 LF	4	9598776
Interiors						
C1070	Throughout Building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	1,000 SF	9	9598778

Component Condition Report | Rod Kelley Elementary School / Portable 7

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
C2010	Throughout Building	Fair	Tackable Panel, Wallpaper	1,500 SF	5	9598767
C2030	Throughout Building	Fair	Flooring, Carpet, Commercial Standard	1,000 SF	5	9598765
Plumbing						
D2010	Throughout Building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	1,000 SF	24	9598774
D2010	Throughout Building	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	1	14	9598780
HVAC						
D3030	Building Exterior	Fair	Heat Pump, Packaged & Wall-Mounted	1	4	9598771
D3050	Throughout Building	Fair	HVAC System, Ductwork, Medium Density	1,000 SF	14	9598772
Fire Protection						
D4010	Throughout Building	NA	Fire Suppression System, Full System Install/Retrofit, Medium Density/Complexity, Install	1,000 SF	5	9598763
Electrical						
D5030	Throughout Building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	1,000 SF	24	9598775
D5040	Throughout Building	Good	Interior Lighting System, Full Upgrade, High Density & Standard Fixtures	1,000 SF	18	9598766
D5040	Building Exterior	Fair	Exterior Light, any type, w/ LED Replacement	1	4	9598764
Fire Alarm & Electronic Systems						
D6060	Throughout Building	Fair	Intercom/PA System, Public Address Upgrade, Facility-Wide	1,000 SF	4	9598773
D7030	Throughout Building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	1,000 SF	5	9598770
D7050	Throughout Building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	1,000 SF	4	9598769

Component Condition Report | Rod Kelley Elementary School / Portable 8

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Good	Exterior Walls, any painted surface, Prep & Paint	1,100 SF	8	9598746
B2020	Building Exterior	Fair	Glazing, any type by SF	200 SF	11	9598748
B2050	Building Exterior	Fair	Exterior Door, Steel, Commercial	1	24	9598750

Component Condition Report | Rod Kelley Elementary School / Portable 8

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Roofing						
B3010	Roof	Fair	Roofing, Metal	1,000 SF	24	9598747
B3020	Roof	Fair	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings	50 LF	4	9598752
Interiors						
C1070	Throughout Building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	1,000 SF	9	9598760
C2010	Throughout Building	Fair	Wall Finishes, Tackable Panel	1,500 SF	5	9598754
C2030	Throughout Building	Fair	Flooring, Carpet, Commercial Standard	1,000 SF	5	9604673
Plumbing						
D2010	Throughout Building	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	1	14	9604674
D2010	Throughout Building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	1,000 SF	24	9598753
HVAC						
D3030	Building Exterior	Fair	Heat Pump, Packaged & Wall-Mounted	1	4	9598761
D3050	Throughout Building	Fair	HVAC System, Ductwork, Medium Density	1,000 SF	14	9598762
Fire Protection						
D4010	Throughout Building	NA	Fire Suppression System, Full System Install/Retrofit, Medium Density/Complexity, Install	1,000 SF	5	9598755
Electrical						
D5030	Throughout Building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	1,000 SF	24	9598758
D5040	Building Exterior	Good	Exterior Light, any type, w/ LED Replacement	1	18	9598745
D5040	Throughout Building	Fair	Interior Lighting System, Full Upgrade, High Density & Standard Fixtures	1,000 SF	4	9598756
Fire Alarm & Electronic Systems						
D6060	Throughout Building	Fair	Intercom/PA System, Public Address Upgrade, Facility-Wide	1,000 SF	4	9598744
D7030	Throughout Building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	1,000 SF	5	9598757
D7050	Throughout Building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	1,000 SF	4	9598759
Equipment & Furnishings						
E2010	Throughout Building	Fair	Casework, Cabinetry, Standard	10 LF	4	9598751

Component Condition Report | Rod Kelley Elementary School / Portable 9

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Facade						
B2010	Building Exterior	Good	Exterior Walls, any painted surface, Prep & Paint	1,100 SF	8	9598731
B2020	Building Exterior	Fair	Glazing, any type by SF	200 SF	14	9598732
B2050	Building Exterior	Fair	Exterior Door, Steel, Commercial	2	24	9598730
Roofing						
B3010	Roof	Fair	Roofing, Metal	1,000 SF	24	9598727
B3020	Roof	Fair	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings	50 LF	4	9598742
Interiors						
C1070	Throughout Building	Fair	Suspended Ceilings, Acoustical Tile (ACT)	1,000 SF	9	9598735
C2010	Throughout Building	Fair	Wall Finishes, Tackable Panel	1,500 SF	5	9598725
C2030	Throughout Building	Fair	Flooring, Carpet, Commercial Standard	1,000 SF	5	9598738
Plumbing						
D2010	Throughout Building	Fair	Sink/Lavatory, Vanity Top, Stainless Steel	1	14	9605030
D2010	Throughout Building	Fair	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures)	1,000 SF	24	9598743
HVAC						
D3030	Building Exterior	Fair	Heat Pump, Packaged & Wall-Mounted	1	4	9598728
D3050	Throughout Building	Fair	HVAC System, Ductwork, Medium Density	1,000 SF	14	9598736
Fire Protection						
D4010	Throughout Building	NA	Fire Suppression System, Full System Install/Retrofit, Medium Density/Complexity, Renovate	1,000 SF	5	9605031
Electrical						
D5030	Throughout Building	Fair	Electrical System, Wiring & Switches, Average or Low Density/Complexity	1,000 SF	24	9598740
D5040	Building Exterior	Fair	Exterior Light, any type, w/ LED Replacement	2	4	9598729
D5040	Throughout Building	Good	Interior Lighting System, Full Upgrade, High Density & Standard Fixtures	1,000 SF	18	9598739
Fire Alarm & Electronic Systems						
D6060	Throughout Building	Fair	Intercom/PA System, Public Address Upgrade, Facility-Wide	1,000 SF	4	9598733

Component Condition Report | Rod Kelley Elementary School / Portable 9

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
D7030	Throughout Building	Fair	Security/Surveillance System, Full System Upgrade, Average Density	1,000 SF	5	9598726
D7050	Throughout Building	Fair	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	1,000 SF	4	9598734
Equipment & Furnishings						
E2010	Throughout Building	Fair	Casework, Cabinetry, Standard	10 LF	4	9598737

Component Condition Report | Rod Kelley Elementary School / Site

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
Plumbing						
D2010	Site	Fair	Backflow Preventer, Domestic Water, 2 IN	1	5	9606959
Fire Protection						
D4010	Site	Fair	Backflow Preventer, Fire Suppression, 6 IN	1	5	9606952
Electrical						
D5020	Site General	Fair	Secondary Transformer, Dry, Stepdown	1	5	9594610
Special Construction & Demo						
F1020	Site Playground Areas	Fair	Covered Play Structure, Light Gauge w/ Fabric Top	200 SF	5	9594666
F1020		Excellent	Ancillary Building, Steel, Pre-Engineered	200 SF	34	9606957
F1020	Site Sports Fields & Courts	Fair	Ancillary Building, Wood-Framed or CMU, Basic/Minimal	10,000 SF	19	9594617
Pedestrian Plazas & Walkways						
G2020	Site Parking Areas	Fair	Parking Lots, Pavement, Asphalt, Mill & Overlay	50,000 SF	13	9594636
G2030	Sidewalk	Poor	Sidewalk, Asphalt	2,000 SF	1	9606955
G2030	Site Parking Areas	Fair	Sidewalk, Concrete, Large Areas	30,000 SF	14	9594671
Athletic, Recreational & Playfield Areas						
G2050	Site Playground Areas	Good	Playground Surfaces, Rubber, Poured-in-Place	4,500 SF	18	9594655
G2050	Site Playground Areas	Good	Play Structure, Multipurpose, Medium	1	15	9594634
G2050	Site	Fair	Play Structure, Swing Set, 4 Seats	2	10	9606956

Component Condition Report | Rod Kelley Elementary School / Site

UF L3 Code	Location	Condition	Asset/Component/Repair	Quantity	RUL	ID
G2050	Site	Fair	Athletic Surfaces & Courts, Basketball/General, Asphalt Pavement, Mill & Overlay	8,000 SF	5	9606954
G2050	Site Playground Areas	Good	Play Structure, Multipurpose, Small	4	18	9594607
G2050	Site	Fair	Sports Apparatus, Basketball, Backboard w/ Pole	6	5	9606953
G2050	Site Playground Areas	Good	Playground Surfaces, Engineered Wood Fiber Chips, 3" Depth	4,000 SF	4	9594608
Sitework						
G2060	Site	Fair	Dumpster Enclosure, Masonry (CMU) Walls, 8' High (per LF)	200 LF	4	9606960
G2060	Site General	Fair	Park Bench, Metal Powder-Coated	10	5	9594647
G2060	Site General	Fair	Fences & Gates, Fence, Chain Link 6'	1,000 LF	4	9594631
G2060	Site General	Fair	Signage, Property, Building or Pole-Mounted, Replace/Install	1	5	9594624
G2060	Site General	Fair	Picnic Table, Metal Powder-Coated	100	10	9594670
G2060	Site General	Good	Fences & Gates, Fence, any Painted Surface, Prep & Paint	1,000 SF	7	9606958
G2080	Site General	Fair	Irrigation System, Pop-Up Spray Heads, Commercial, Replace/Install	30,000 SF	10	9594641
G4050	Site	Fair	Site Light Pole, 20' Height, w/o Base or Fixtures	20	4	9594669

Appendix E: Replacement Reserves

Replacement Reserves Report



8/11/2025

Location	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	Total Escalated Estimate	
Rod Kelley Elementary School	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	
Rod Kelley Elementary School / Building A	\$0	\$0	\$0	\$0	\$137,740	\$371,013	\$230,968	\$0	\$18,802	\$0	\$0	\$0	\$0	\$0	\$0	\$101,484	\$0	\$0	\$25,269	\$63,060	\$0	\$0	\$948,336
Rod Kelley Elementary School / Building B	\$0	\$0	\$0	\$0	\$147,670	\$328,452	\$158,972	\$0	\$27,308	\$0	\$0	\$0	\$0	\$0	\$2,495	\$86,717	\$0	\$0	\$95,901	\$71,735	\$0	\$0	\$919,251
Rod Kelley Elementary School / Building C	\$0	\$0	\$0	\$0	\$240,668	\$285,066	\$111,007	\$0	\$27,308	\$0	\$0	\$0	\$0	\$0	\$0	\$113,329	\$0	\$0	\$623,840	\$72,462	\$0	\$0	\$1,473,681
Rod Kelley Elementary School / Building D	\$0	\$0	\$0	\$36,561	\$14,745	\$204,117	\$0	\$0	\$11,192	\$0	\$0	\$0	\$0	\$0	\$0	\$49,060	\$0	\$0	\$15,041	\$2,479	\$52,496	\$0	\$385,691
Rod Kelley Elementary School / Building E	\$0	\$0	\$0	\$268,459	\$67,117	\$751,605	\$0	\$0	\$50,459	\$0	\$0	\$0	\$0	\$0	\$0	\$196,885	\$0	\$0	\$34,522	\$35,942	\$195,203	\$0	\$1,600,192
Rod Kelley Elementary School / Building F	\$0	\$0	\$0	\$31,614	\$0	\$75,109	\$0	\$0	\$4,924	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$16,645	\$0	\$21,914	\$0	\$150,208
Rod Kelley Elementary School / Building G	\$0	\$0	\$0	\$13,157	\$0	\$59,405	\$0	\$28,976	\$156,281	\$22,341	\$0	\$0	\$0	\$10,154	\$0	\$79,835	\$0	\$5,062	\$197,829	\$30,024	\$0	\$0	\$603,064
Rod Kelley Elementary School / Building H	\$0	\$0	\$0	\$0	\$202,855	\$216,376	\$91,851	\$0	\$15,525	\$0	\$0	\$0	\$0	\$0	\$0	\$37,752	\$0	\$0	\$70,500	\$43,378	\$38,616	\$0	\$716,854
Rod Kelley Elementary School / Portable 1	\$0	\$0	\$0	\$0	\$66,584	\$122,114	\$23,209	\$0	\$6,715	\$0	\$0	\$0	\$0	\$0	\$0	\$29,493	\$15,123	\$0	\$27,074	\$22,928	\$0	\$0	\$313,240
Rod Kelley Elementary School / Portable 10	\$0	\$0	\$0	\$0	\$51,443	\$61,972	\$0	\$0	\$24,175	\$10,759	\$4,749	\$0	\$0	\$0	\$65,037	\$3,340	\$0	\$0	\$32,489	\$0	\$33,105	\$0	\$287,069
Rod Kelley Elementary School / Portable 2	\$0	\$0	\$0	\$0	\$23,733	\$33,867	\$0	\$0	\$4,924	\$5,380	\$0	\$0	\$0	\$0	\$28,866	\$13,765	\$0	\$0	\$16,645	\$4,131	\$7,021	\$0	\$138,332
Rod Kelley Elementary School / Portable 3	\$0	\$0	\$0	\$0	\$21,081	\$36,599	\$0	\$0	\$4,924	\$5,380	\$0	\$0	\$0	\$0	\$28,866	\$13,765	\$0	\$0	\$16,645	\$0	\$11,276	\$0	\$138,536
Rod Kelley Elementary School / Portable 4	\$0	\$0	\$0	\$0	\$15,115	\$36,599	\$0	\$0	\$4,924	\$5,380	\$0	\$0	\$0	\$0	\$28,687	\$13,765	\$0	\$0	\$16,645	\$0	\$11,276	\$0	\$132,391
Rod Kelley Elementary School / Portable 5	\$0	\$0	\$0	\$0	\$21,081	\$24,308	\$0	\$0	\$4,924	\$5,380	\$0	\$0	\$0	\$0	\$28,866	\$13,765	\$0	\$0	\$16,645	\$0	\$11,276	\$0	\$126,245
Rod Kelley Elementary School / Portable 6	\$0	\$0	\$0	\$0	\$19,092	\$16,797	\$0	\$0	\$4,924	\$7,024	\$0	\$0	\$0	\$0	\$28,866	\$11,012	\$0	\$0	\$16,645	\$0	\$13,404	\$0	\$117,765
Rod Kelley Elementary School / Portable 7	\$0	\$0	\$0	\$0	\$14,584	\$24,308	\$0	\$0	\$4,924	\$5,380	\$0	\$0	\$0	\$0	\$28,866	\$13,765	\$0	\$0	\$16,645	\$0	\$11,276	\$0	\$119,748
Rod Kelley Elementary School / Portable 8	\$0	\$0	\$0	\$0	\$24,661	\$24,308	\$0	\$0	\$4,924	\$5,380	\$0	\$17,937	\$0	\$0	\$9,266	\$13,765	\$0	\$0	\$7,420	\$0	\$11,276	\$0	\$118,937
Rod Kelley Elementary School / Portable 9	\$0	\$0	\$0	\$0	\$19,092	\$36,599	\$0	\$0	\$4,924	\$5,380	\$0	\$0	\$0	\$0	\$28,866	\$13,765	\$0	\$0	\$16,645	\$0	\$11,276	\$0	\$136,547
Rod Kelley Elementary School / Site	\$0	\$13,347	\$0	\$0	\$136,562	\$119,984	\$0	\$4,346	\$0	\$6,148	\$166,229	\$0	\$0	\$302,738	\$488,222	\$36,706	\$0	\$5,841	\$314,858	\$1,247,641	\$0	\$0	\$2,842,622
Grand Total	\$0	\$13,347	\$0	\$349,791	\$1,223,824	\$2,828,599	\$616,007	\$33,322	\$382,086	\$83,929	\$170,978	\$17,937	\$0	\$312,893	\$766,900	\$841,965	\$15,123	\$10,904	\$1,577,907	\$1,593,780	\$429,418	\$0	\$11,268,709

Rod Kelley Elementary School

Rod Kelley Elementary School / Building A

Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost*	Subtotal	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	Deficiency Repair Estimate			
B2010	Building Exterior	9593726	Exterior Walls, any painted surface, 1-2 Story Building, Prep & Paint	10	2	8	4200	SF	\$3.53	\$14,843										\$14,843												\$14,843	\$29,686		
B2020	Building Exterior	9593728	Glazing, any type by SF, Replace	30	24	6	1100	SF	\$64.79	\$71,269							\$71,269																\$71,269		
B2050	Building Exterior	9593710	Exterior Door, Steel, Standard, Replace	30	24	6	6	EA	\$706.80	\$4,241							\$4,241																\$4,241		
B3010	Roof	9593712	Roofing, Asphalt Shingle, 20-Year Standard, Replace	20	14	6	3000	SF	\$4.48	\$13,429							\$13,429																\$13,429		
B3010	Roof	9593717	Roofing, Modified Bitumen, Replace	20	14	6	3000	SF	\$11.78	\$35,340							\$35,340																\$35,340		
C1030	Throughout Building	9593729	Interior Door, Wood, Solid-Core, Replace	40	36	4	4	EA	\$824.60	\$3,298					\$3,298																		\$3,298		
C1070	Throughout Building	9593722	Suspended Ceilings, Acoustical Tile (ACT), Replace	25	21	4	5760	SF	\$4.12	\$23,748					\$23,748																		\$23,748		
C2010	Throughout Building	9593718	Wall Finishes, Wallpaper, Replace	15	11	4	8640	SF	\$2.59	\$22,391					\$22,391																		\$22,391		
C2030	Throughout Building	9593719	Flooring, Carpet, Commercial Standard, Replace	10	5	5	5760	SF	\$8.84	\$50,890					\$50,890																		\$50,890		
D2010	Throughout Building	9593725	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	36	4	5760	SF	\$5.89	\$33,926					\$33,926																		\$33,926		
D2010	Throughout Building	9593715	Sink/Lavatory, Vanity Top, Stainless Steel, Replace	30	26	4	6	EA	\$1,413.60	\$8,482					\$8,482																		\$8,482		
D3050	Throughout Building	9593721	HVAC System, Ductwork, Low Density, Replace	30	25	5	5760	SF	\$2.36	\$13,571					\$13,571																		\$13,571		
D3050	Roof	9593720	Packaged Unit, RTU, Pad or Roof-Mounted, Replace	20	14	6	6	EA	\$9,659.60	\$57,958					\$57,958																		\$57,958		
D4010	Throughout Building	9593709	Fire Suppression System, Full System Install/Retrofit, Low Density/Complexity, Renovate	40	35	5	5760	SF	\$3.53	\$20,356					\$20,356																		\$20,356		
D5030	Throughout Building	9593714	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	36	4	5760	SF	\$2.95	\$16,963					\$16,963																		\$16,963		
D5040	Building Exterior	9593723	Exterior Light, any type, w/ LED Replacement, Replace	20	15	5	6	EA	\$471.20	\$2,827					\$2,827																		\$2,827		
D5040	Throughout Building	9593711	Interior Lighting System, Full Upgrade, Low Density & Standard Fixtures, Replace	20	5	15	5760	SF	\$2.47	\$14,249					\$14,249																		\$14,249		
D6060	Throughout Building	9593713	Intercom/PA System, Public Address Upgrade, Facility-Wide, Replace	20	14	6	5760	SF	\$1.94	\$11,196					\$11,196																		\$11,196		
D7030	Throughout Building	9593716	Security/Surveillance System, Full System Upgrade, Average Density, Replace	15	11	4	5760	SF	\$2.36	\$13,571					\$13,571																		\$13,571		
D7050	Throughout Building	9593724	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	20	15	5	5760	SF	\$3.53	\$20,356					\$20,356																		\$20,356		
E2010	Throughout Building	9593727	Casework, Cabinetry, Standard, Replace	20	15	5	600	LF	\$353.40	\$212,040					\$212,040																		\$212,040		
Totals, Unescalated											\$0	\$0	\$0	\$0	\$122,380	\$320,039	\$193,432	\$0	\$14,843	\$0	\$65,139	\$0	\$0	\$14,843	\$35,962	\$0	\$766,638								
Totals, Escalated (3.0% inflation, compounded annually)											\$0	\$0	\$0	\$0	\$137,740	\$371,013	\$230,968	\$0	\$18,802	\$0	\$101,484	\$0	\$0	\$25,269	\$63,060	\$0	\$948,336								

Replacement Reserves Report



8/11/2025

Rod Kelley Elementary School / Building B

Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost*	Subtotal	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	Deficiency Repair Estimate	
B2010	Building Exterior	9594163	Exterior Walls, any painted surface, 1-2 Story Building, Prep & Paint	10	2	8	6100	SF	\$3.53	\$21,557									\$21,557												\$21,557	\$43,115	
B2020	Building Exterior	9594162	Glazing, any type by SF, Replace	30	24	6	1100	SF	\$64.79	\$71,269							\$71,269															\$71,269	
B2050	Building Exterior	9594145	Exterior Door, Steel, Standard, Replace	30	25	5	9	EA	\$706.80	\$6,361						\$6,361																\$6,361	
B3010	Roof	9594151	Roofing, Asphalt Shingle, 20-Year Standard, Replace	20	15	5	3000	SF	\$4.48	\$13,429						\$13,429																\$13,429	
B3010	Roof	9594149	Roofing, Modified Bitumen, Replace	20	15	5	3500	SF	\$11.78	\$41,230						\$41,230																\$41,230	
C1070	Throughout Building	9594147	Suspended Ceilings, Acoustical Tile (ACT), Replace	25	21	4	5900	SF	\$4.12	\$24,326					\$24,326																	\$24,326	
C1090	Restrooms	9594146	Toilet Partitions, Plastic/Laminate, Replace	20	15	5	8	EA	\$883.50	\$7,068						\$7,068																\$7,068	
C2010	Restrooms	9594156	Wall Finishes, Laminated Paneling (FRP), Replace	30	25	5	700	SF	\$18.85	\$13,194						\$13,194																	\$13,194
C2010	Throughout Building	9594164	Wall Finishes, Wallpaper, Replace	15	11	4	9140	SF	\$2.59	\$23,687					\$23,687															\$23,687		\$47,374	
C2030	Restrooms	9594157	Flooring, Ceramic Tile, Replace	40	36	4	300	SF	\$21.20	\$6,361					\$6,361																	\$6,361	
C2030	Throughout Building	9594159	Flooring, Carpet, Commercial Standard, Replace	10	5	5	6300	SF	\$8.84	\$55,661					\$55,661															\$55,661		\$111,321	
C2050	Throughout Building	9594166	Ceiling Finishes, any flat surface, Prep & Paint	10	6	4	700	SF	\$2.36	\$1,649					\$1,649											\$1,649						\$3,298	
D2010	Throughout Building	9600245	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	36	4	6560	SF	\$5.89	\$38,638					\$38,638																	\$38,638	
D2010	Building Exterior	9594158	Drinking Fountain, Wall-Mounted, Bi-Level, Replace	15	11	4	1	EA	\$1,767.00	\$1,767					\$1,767															\$1,767		\$3,534	
D2010	Restrooms	9594152	Sink/Lavatory, Service Sink, Wall-Hung, Replace	35	30	5	2	EA	\$1,649.20	\$3,298					\$3,298																	\$3,298	
D2010	Restrooms	9594161	Toilet, Commercial Water Closet, Replace	30	25	5	8	EA	\$1,531.40	\$12,251					\$12,251																	\$12,251	
D2010	Throughout Building	9594165	Sink/Lavatory, Vanity Top, Stainless Steel, Replace	30	24	6	6	EA	\$1,413.60	\$8,482						\$8,482																\$8,482	
D2010	Restrooms	9594154	Urinal, Standard, Replace	30	24	6	5	EA	\$1,295.80	\$6,479						\$6,479																\$6,479	
D3050	Throughout Building	9594155	HVAC System, Ductwork, Low Density, Replace	30	24	6	6560	SF	\$2.36	\$15,455						\$15,455																\$15,455	
D4010	Throughout Building	9594167	Fire Suppression System, Full System Install/Retrofit, Medium Density/Complexity, Renovate	40	35	5	6560	SF	\$16.49	\$108,188					\$108,188																	\$108,188	
D4010	Throughout Building	9594160	Fire Suppression System, Existing Sprinkler Heads, by SF, Replace	25	19	6	6560	SF	\$1.26	\$8,269						\$8,269																\$8,269	
D5020	Electrical Room	9594153	Distribution Panel, 120/208 V, Replace	30	25	5	1	EA	\$7,068.00	\$7,068					\$7,068																	\$7,068	
D5030	Throughout Building	9594150	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	36	4	6560	SF	\$2.95	\$19,319					\$19,319																	\$19,319	
D5040	Building Exterior	9594168	Exterior Light, any type, w/ LED Replacement, Replace	20	15	5	6	EA	\$471.20	\$2,827					\$2,827																	\$2,827	
D5040	Throughout	9606966	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Replace	20	2	18	6560	SF	\$5.30	\$34,775																				\$34,775		\$34,775	
D6060	Throughout Building	9594144	Intercom/PA System, Public Address Upgrade, Facility-Wide, Replace	20	15	5	6560	SF	\$1.94	\$12,751					\$12,751																	\$12,751	
D7030	Throughout Building	9594148	Security/Surveillance System, Full System Upgrade, Average Density, Replace	15	11	4	6560	SF	\$2.36	\$15,455					\$15,455															\$15,455		\$30,911	
D7050	Throughout Building	9594143	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	20	14	6	6560	SF	\$3.53	\$23,183						\$23,183																\$23,183	
Totals, Unescalated											\$0	\$0	\$0	\$0	\$131,203	\$283,325	\$133,137	\$0	\$21,557	\$0	\$0	\$0	\$0	\$0	\$1,649	\$55,661	\$0	\$0	\$56,332	\$40,910	\$0	\$723,774	
Totals, Escalated (3.0% inflation, compounded annually)											\$0	\$0	\$0	\$0	\$147,670	\$328,452	\$158,972	\$0	\$27,308	\$0	\$0	\$0	\$0	\$0	\$2,495	\$86,717	\$0	\$0	\$95,901	\$71,735	\$0	\$919,251	

Rod Kelley Elementary School / Building C

Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost*	Subtotal	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	Deficiency Repair Estimate
B2010	Building Exterior	9594195	Exterior Walls, any painted surface, 1-2 Story Building, Prep & Paint	10	2	8	6100	SF	\$3.53	\$21,557									\$21,557												\$21,557	\$43,115
B2020	Building Exterior	9594200	Glazing, any type by SF, Replace	30	24	6	1100	SF	\$64.79	\$71,269							\$71,269															\$71,269
B2050	Building Exterior	9594212	Exterior Door, Steel, Standard, Replace	30	25	5	9	EA	\$706.80	\$6,361						\$6,361																\$6,361
B3010	Roof	9594211	Roofing, Asphalt Shingle, 20-Year Standard, Replace	20	14	6	3000	SF	\$4.48	\$13,429						\$13,429																\$13,429
B3010	Roof	9594204	Roofing, Modified Bitumen, Replace	20	15	5	3500	SF	\$11.78	\$41,230						\$41,230																\$41,230
C1070	Throughout Building	9594220	Suspended Ceilings, Acoustical Tile (ACT), Replace	25	20	5	5900	SF	\$4.12	\$24,326					\$24,326																	\$24,326
C1090	Restrooms	9594217	Toilet Partitions, Plastic/Laminate, Replace	20	15	5	8	EA	\$883.50	\$7,068						\$7,068																\$7,068
C2010	Restrooms	9594206	Wall Finishes, Laminated Paneling (FRP), Replace	30	25	5	700	SF	\$18.85	\$13,194						\$13,194																\$13,194
C2010	Throughout Building	9594199	Wall Finishes, Wallpaper, Replace	15	11	4	9300	SF	\$2.59	\$24,102					\$24,102															\$24,102		\$48,204
C2030	Restrooms	9594218	Flooring, Ceramic Tile, Replace	40	36	4	300	SF	\$21.20	\$6,361					\$6,361																	\$6,361
C2030	Throughout Building	9594201	Flooring, Carpet, Commercial Standard, Replace	10	5	5	6300	SF	\$8.84	\$55,661					\$55,661															\$55,661		\$111,321
C2050	Throughout Building	9594216	Ceiling Finishes, any flat surface, Prep & Paint	10	5	5	700	SF	\$2.36	\$1,649					\$1,649												\$1,649					\$3,298
D2010	Throughout Building	9594208	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	36	4	6560	SF	\$5.89	\$38,638					\$38,638																	\$38,638
D2010	Building Exterior	9594221	Drinking Fountain, Wall-Mounted, Bi-Level, Replace	15	11	4	1	EA	\$1,767.00	\$1,767					\$1,767															\$1,767		\$3,534

Replacement Reserves Report



8/11/2025

Rod Kelley Elementary School / Building E

Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost*	Subtotal	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	Deficiency Repair Estimate	
B2010	Building Exterior	9600749	Exterior Walls, any painted surface, Prep & Paint	10	2	8	5738	SF	\$3.53	\$20,278									\$20,278													\$40,556	
B2020	Building Exterior	9600729	Glazing, any type by SF, Replace	30	25	5	1013	SF	\$64.79	\$65,632						\$65,632																	\$65,632
B2050	Building Exterior	9600732	Exterior Door, Aluminum-Framed & Glazed, Standard Swing, Replace	30	25	5	7	EA	\$1,531.40	\$10,720						\$10,720																	\$10,720
B3010	Roof	9600741	Roofing, Asphalt Shingle, 20-Year Standard, Replace	20	15	5	5000	SF	\$4.48	\$22,382						\$22,382																	\$22,382
B3010	Roof	9600738	Roofing, Modified Bitumen, Replace	20	15	5	7000	SF	\$11.78	\$82,460						\$82,460																	\$82,460
C1030	Throughout Building	9601176	Interior Door, Wood, Solid-Core Commercial, Replace	40	37	3	25	EA	\$824.60	\$20,615				\$20,615																			\$20,615
C1030	Throughout Building	9601177	Door Hardware, School, per Door, Replace	30	25	5	32	EA	\$471.20	\$15,078						\$15,078																	\$15,078
C1070	Throughout Building	9600737	Suspended Ceilings, Acoustical Tile (ACT), Replace	25	20	5	10000	SF	\$4.12	\$41,230						\$41,230																	\$41,230
C1090	Restrooms	9601180	Toilet Partitions, Plastic/Laminate, Replace	20	15	5	5	EA	\$883.50	\$4,418						\$4,418																	\$4,418
C2010	Restrooms	9600730	Wall Finishes, Ceramic Tile, Replace	40	37	3	500	SF	\$21.20	\$10,602				\$10,602																			\$10,602
C2010	Restrooms	9601178	Wall Finishes, Laminated Paneling (FRP), Replace	30	25	5	500	SF	\$18.85	\$9,424						\$9,424																	\$9,424
C2010	Throughout Building	9601142	Wall Finishes, Wallpaper, Replace	15	10	5	1000	SF	\$2.59	\$2,592						\$2,592															\$2,592	\$5,183	
C2010	Throughout Building	9600745	Wall Finishes, any surface, Prep & Paint	10	5	5	15611	SF	\$1.77	\$27,585						\$27,585									\$27,585								\$55,169
C2030	Throughout Building	9601179	Flooring, any surface, w/ Elastomeric Coating, Prep & Paint	10	5	5	2000	SF	\$10.60	\$21,204						\$21,204									\$21,204								\$42,408
C2030	Restrooms	9600726	Flooring, Ceramic Tile, Replace	40	37	3	500	SF	\$21.20	\$10,602				\$10,602																			\$10,602
C2030	Throughout Building	9600743	Flooring, Vinyl Tile (VCT), Replace	15	10	5	8000	SF	\$5.89	\$47,120						\$47,120														\$47,120			\$94,240
C2030	Throughout Building	9600746	Flooring, Carpet, Commercial Standard, Replace	10	5	5	504	SF	\$8.84	\$4,453						\$4,453									\$4,453								\$8,906
C2050	Throughout Building	9600747	Ceiling Finishes, any flat surface, Prep & Paint	10	5	5	1074	SF	\$2.36	\$2,530						\$2,530									\$2,530								\$5,061
D2010	Utulity Room	9600976	Water Heater, Gas, Commercial, Replace	20	12	8	1	EA	\$19,554.80	\$19,555									\$19,555														\$19,555
D2010	Throughout Building	9600725	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	37	3	11074	SF	\$5.89	\$65,226				\$65,226																			\$65,226
D2010	Building Exterior	9600742	Drinking Fountain, Wall-Mounted, Single-Level, Replace	15	11	4	2	EA	\$1,413.60	\$2,827						\$2,827													\$2,827				\$5,654
D2010	Breakroom	9600733	Sink/Lavatory, Vanity Top, Stainless Steel, Replace	30	25	5	1	EA	\$1,413.60	\$1,414						\$1,414																	\$1,414
D2010	Restrooms	9600734	Toilet, Commercial Water Closet, Replace	30	25	5	5	EA	\$1,531.40	\$7,657						\$7,657																	\$7,657
D2010	Restrooms	9600728	Sink/Lavatory, Service Sink, Wall-Hung, Replace	35	30	5	6	EA	\$1,649.20	\$9,895						\$9,895																	\$9,895
D2010	Building E	9601241	Urinal, Standard, Replace	30	25	5	1	EA	\$1,295.80	\$1,296						\$1,296																	\$1,296
D3030	Building E	9601252	Split System Ductless, Single Zone, Condenser & Evaporator, 1.5 to 2 TON, Replace	15	10	5	1	EA	\$5,654.40	\$5,654						\$5,654														\$5,654			\$11,309
D3050	Throughout Building	9600731	HVAC System, Ductwork, Medium Density, Replace	30	25	5	11074	SF	\$4.71	\$52,181						\$52,181																	\$52,181
D4010	Throughout Building	9600735	Fire Suppression System, Existing Sprinkler Heads, by SF, Replace	25	20	5	11074	SF	\$1.26	\$13,958						\$13,958																	\$13,958
D5020	Building E	9601234	Switchboard, 277/480 V, 2000 AMP, Replace	40	37	3	1	EA	\$106,020.00	\$106,020				\$106,020																			\$106,020
D5020	Building E	9601238	Secondary Transformer, Dry, Stepdown, 75 KVA, Replace	30	25	5	1	EA	\$11,780.00	\$11,780						\$11,780																	\$11,780
D5020	Building E	9601235	Secondary Transformer, Dry, Stepdown, 30 KVA, Replace	30	25	5	1	EA	\$7,892.60	\$7,893						\$7,893																	\$7,893
D5020	Building E	9601237	Distribution Panel, 120/208 V, 400 AMP, Replace	30	25	5	1	EA	\$7,068.00	\$7,068						\$7,068																	\$7,068
D5030	Throughout Building	9600727	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	37	3	11074	SF	\$2.95	\$32,613				\$32,613																			\$32,613
D5040	Building Exterior	9600740	Exterior Light, any type, w/ LED Replacement, Replace	20	15	5	6	EA	\$471.20	\$2,827						\$2,827																	\$2,827
D5040	Throughout Building	9600748	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Replace	20	5	15	11074	SF	\$5.30	\$58,703															\$58,703								\$58,703
D6060	Throughout Building	9600739	Intercom/PA System, Public Address Upgrade, Facility-Wide, Replace	20	15	5	11074	SF	\$1.94	\$21,525						\$21,525																	\$21,525
D7030	Throughout Building	9600744	Security/Surveillance System, Full System Upgrade, Average Density, Replace	15	10	5	11074	SF	\$2.36	\$26,090						\$26,090														\$26,090			\$52,181
D7030	Building E	9601240	Surveillance Components, Fiberoptic Receiver Rack Mount & Power Supply, Closed Circuit, Replace	10	5	5	1	EA	\$2,143.96	\$2,144						\$2,144									\$2,144								\$4,288
D7050	Throughout Building	9600736	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	20	16	4	11074	SF	\$3.53	\$39,136					\$39,136																		\$39,136
D7050	Building E	9601236	Fire Alarm Panel, Fully Addressable, Replace	15	11	4	1	EA	\$17,670.00	\$17,670						\$17,670													\$17,670				\$35,340
E1030	Building E	9601250	Foodservice Equipment, Food Warmer, Proofing Cabinet on Wheels, Replace	15	10	5	1	EA	\$2,002.60	\$2,003						\$2,003														\$2,003			\$4,005
E1030	Building E	9601246	Foodservice Equipment, Sink, 1-Bowl, Replace	30	25	5	1	EA	\$1,884.80	\$1,885						\$1,885																	\$1,885
E1030	Building E	9601242	Foodservice Equipment, Range/Oven, 4-Burner w/ Griddle, Replace	15	10	5	1	EA	\$7,892.60	\$7,893						\$7,893														\$7,893			\$15,785
E1030	Building E	9601243	Foodservice Equipment, Convection Oven, Double, Replace	10	5	5	1	EA	\$9,753.84	\$9,754						\$9,754									\$9,754								\$19,508
E1030	Building E	9601249	Foodservice Equipment, Walk-In, Condenser for Refrigerator/Freezer, Replace	15	10	5	1	EA	\$7,421.40	\$7,421						\$7,421														\$7,421			\$14,843
E1030	Building E	9601248	Foodservice Equipment, Walk-In, Evaporator for Refrigerator/Freezer, Replace	15	10	5	1	EA	\$5,418.80	\$5,419						\$5,419														\$5,419			\$10,838
E1030	Building E	9601251	Commercial Kitchen Line, Serving/Warming Equipment, Replace	20	15	5	2	LF	\$1,178.00	\$2,356						\$2,356																	\$2,356
E1030	Building E	9601247	Foodservice Equipment, Walk-In, Combination Freezer/Refrigerator, Replace	20	15	5	1	EA	\$41,230.00	\$41,23																							

Replacement Reserves Report



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Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost*	Subtotal	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	Deficiency Repair Estimate			
E1030	Building E	9601245	Foodservice Equipment, Sink, 3-Bowl, Replace	30	25	5	1	EA	\$2,945.00	\$2,945						\$2,945																\$2,945			
E2010	Building E	9601239	Casework, Cabinetry, Standard, Replace	20	15	5	100	LF	\$353.40	\$35,340						\$35,340																\$35,340			
Totals, Unescalated											\$0	\$0	\$0	\$245,678	\$59,633	\$648,341	\$0	\$0	\$39,833	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$126,373	\$0	\$0	\$20,278	\$20,497	\$108,079	\$1,268,712	
Totals, Escalated (3.0% inflation, compounded annually)											\$0	\$0	\$0	\$268,459	\$67,117	\$751,605	\$0	\$0	\$50,459	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$196,885	\$0	\$0	\$34,522	\$35,942	\$195,203	\$1,600,192

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Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost*	Subtotal	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	Deficiency Repair Estimate															
B2010	Building Exterior	9601404	Exterior Walls, any painted surface, Prep & Paint	10	2	8	1100	SF	\$3.53	\$3,887									\$3,887													\$3,887	\$7,775														
B2020	Building Exterior	9601412	Glazing, any type by SF, Replace	30	25	5	200	SF	\$64.79	\$12,958					\$12,958																		\$12,958														
B2050	Building Exterior	9601408	Exterior Door, Steel, Commercial, Replace	40	37	3	1	EA	\$4,782.68	\$4,783				\$4,783																			\$4,783														
B3010	Roof	9601416	Roofing, Metal, Replace	40	37	3	1000	SF	\$15.31	\$15,314				\$15,314																			\$15,314														
B3020	Roof	9601410	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings, Replace	20	15	5	50	LF	\$10.60	\$530					\$530																		\$530														
C1070	Throughout Building	9601418	Suspended Ceilings, Acoustical Tile (ACT), Replace	25	20	5	1000	SF	\$4.12	\$4,123					\$4,123																		\$4,123														
C2010	Throughout Building	9601421	Wall Finishes, Tackable Panel, Replace	15	10	5	1500	SF	\$2.59	\$3,887					\$3,887																		\$3,887	\$7,775													
C2030	Throughout Building	9601414	Flooring, Vinyl Tile (VCT), Replace	15	10	5	1000	SF	\$5.89	\$5,890					\$5,890																		\$5,890	\$11,780													
D2010	Throughout Building	9601409	Plumbing System, Supply & Sanitary, Low Density (excludes fixtures), Replace	40	37	3	1000	SF	\$5.89	\$5,890				\$5,890																				\$5,890													
D2010	Throughout Building	9601419	Sink/Lavatory, Vanity Top, Stainless Steel, Replace	30	25	5	1	EA	\$1,413.60	\$1,414					\$1,414																			\$1,414													
D3030	Building Exterior	9601405	Heat Pump, Packaged & Wall-Mounted, Replace	20	15	5	1	EA	\$6,479.00	\$6,479					\$6,479																			\$6,479													
D3050	Throughout Building	9601420	HVAC System, Ductwork, Medium Density, Replace	30	25	5	1000	SF	\$4.71	\$4,712					\$4,712																			\$4,712													
D4010	Throughout Building	9601403	Fire Suppression System, Full System Install/Retrofit, Medium Density/Complexity, Renovate	40	35	5	1000	SF	\$16.49	\$16,492					\$16,492																			\$16,492													
D5030	Throughout Building	9601413	Electrical System, Wiring & Switches, Average or Low Density/Complexity, Replace	40	37	3	1000	SF	\$2.95	\$2,945				\$2,945																				\$2,945													
D5040	Building Exterior	9601415	Exterior Light, any type, w/ LED Replacement, Replace	20	15	5	1	EA	\$471.20	\$471					\$471																			\$471													
D5040	Throughout Building	9601407	Interior Lighting System, Full Upgrade, High Density & Standard Fixtures, Replace	20	2	18	1000	SF	\$5.89	\$5,890																								\$5,890	\$5,890												
D6060	Throughout Building	9601406	Intercom/PA System, Public Address Upgrade, Facility-Wide, Replace	20	15	5	1000	SF	\$1.94	\$1,944					\$1,944																			\$1,944													
D7030	Throughout Building	9601417	Security/Surveillance System, Full System Upgrade, Average Density, Replace	15	10	5	1000	SF	\$2.36	\$2,356					\$2,356																			\$2,356	\$4,712												
D7050	Throughout Building	9601411	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	20	15	5	1000	SF	\$3.53	\$3,534					\$3,534																			\$3,534													
Totals, Unescalated											\$0	\$0	\$0	\$28,932	\$0	\$64,790	\$0	\$0	\$3,887	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$9,777	\$0	\$12,133	\$119,520				
Totals, Escalated (3.0% inflation, compounded annually)											\$0	\$0	\$0	\$31,614	\$0	\$75,109	\$0	\$0	\$4,924	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$16,645	\$0	\$21,914	\$150,208

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Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost*	Subtotal	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	Deficiency Repair Estimate						
B2010	Building Exterior	9594590	Exterior Walls, any painted surface, Prep & Paint	10	1	9	4845	SF	\$3.53	\$17,122										\$17,122															\$17,122	\$34,244		
B2020	Building Exterior	9594589	Glazing, any type by SF, Replace	30	12	18	855	SF	\$64.79	\$55,395																									\$55,395	\$55,395		
B2050	Building Exterior	9594601	Exterior Door, Aluminum-Framed & Glazed, Standard Swing, Replace	30	13	17	2	EA	\$1,531.40	\$3,063																		\$3,063								\$3,063		
B3060	Roof	9606762	Roof Skylight, per SF of glazing, Replace	30	12	18	250	SF	\$58.90	\$14,725																									\$14,725	\$14,725		
B3080	Roof	9606541	Soffit/Fascia, Gypsum Board, Replace	20	12	8	575	SF	\$9.78	\$5,622									\$5,622																	\$5,622		
C2010	Throughout	9606746	Wall Finishes, any surface, Prep & Paint	10	5	5	6500	SF	\$1.77	\$11,486					\$11,486																					\$11,486	\$22,971	
C2030	Throughout	9606749	Flooring, any surface, w/ Elastomeric Coating, Prep & Paint	10	7	3	211	SF	\$10.60	\$2,237				\$2,237									\$2,237													\$2,237	\$4,474	
C2030	Throughout	9606748	Flooring, Carpet, Commercial Standard, Replace	10	5	5	3500	SF	\$8.84	\$30,923					\$30,923																					\$30,923	\$61,845	
C2050	Throughout	9606751	Ceiling Finishes, Wood Paneling, Replace	30	12	18	711	SF	\$16.49	\$11,726																										\$11,726	\$11,726	
C2050	Throughout	9606747	Ceiling Finishes, exposed irregular elements, Prep & Paint	10	5	5	3000	SF	\$2.95	\$8,835					\$8,835																					\$8,835	\$17,670	
D2010	Building G	9606750	Drinking Fountain, Floor-Mounted, Interior Basic, Replace	15	12	3	1	EA	\$1,060.20	\$1,060				\$1,060																						\$1,060	\$2,120	
D2010	Restrooms	9594602	Sink/Lavatory, Wall-Hung, Replace	30	12	18	2	EA	\$2,002.60	\$4,005																										\$4,005	\$4,005	
D2010	Restrooms	9594593	Toilet, Commercial Water Closet, Replace	30	12	18	2	EA	\$1,531.40	\$3,063																										\$3,063	\$3,063	
D3050	Site General	9594605	Packaged Unit, RTU, Pad or Roof-Mounted, 8 to 10 TON, Replace	20	13	7	1	EA	\$23,560.00	\$23,560																											\$23,560	\$23,560
D3050	Throughout Building	9594592	HVAC System, Ductwork, Medium Density, Replace	30	12	18	3711	SF	\$4.71	\$17,486																										\$17,486	\$17,486	
D4010	Throughout Building	9594599	Fire Suppression System, Existing Sprinkler Heads, by SF, Replace	25	12	13	3711	SF	\$1.26	\$4,678														\$4,678													\$4,678	\$4,678
D5040	Throughout	9606756	Interior Lighting System, Full Upgrade, Medium Density & Standard Fixtures, Replace	20	12	8	3711	SF	\$5.30	\$19,672																											\$19,672	\$19,672

Replacement Reserves Report



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Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost*	Subtotal 2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	Deficiency Repair Estimate	
Totals, Unescalated											\$0	\$0	\$0	\$0	\$13,429	\$31,570	\$0	\$0	\$3,887	\$4,123	\$0	\$0	\$0	\$0	\$18,966	\$8,835	\$0	\$0	\$9,777	\$0	\$6,243	\$96,832
Totals, Escalated (3.0% inflation, compounded annually)											\$0	\$0	\$0	\$0	\$15,115	\$36,599	\$0	\$0	\$4,924	\$5,380	\$0	\$0	\$0	\$0	\$28,687	\$13,765	\$0	\$0	\$16,645	\$0	\$11,276	\$132,391

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Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost*	Subtotal 2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	Deficiency Repair Estimate	
B2010	Building Exterior	9597433	Exterior Walls, any painted surface, Prep & Paint	10	2	8	1100	SF	\$3.53	\$3,887								\$3,887									\$3,887			\$7,775		
B2020	Building Exterior	9597442	Glazing, any type by SF, Replace	30	16	14	200	SF	\$64.79	\$12,958													\$12,958							\$12,958		
B3020	Roof	9597441	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings, Replace	20	16	4	50	LF	\$10.60	\$530			\$530																	\$530		
C1070	Throughout Building	9597425	Suspended Ceilings, Acoustical Tile (ACT), Replace	25	16	9	1000	SF	\$4.12	\$4,123									\$4,123											\$4,123		
C2010	Throughout Building	9597434	Wall Finishes, Tackable Panel, Replace	15	10	5	1500	SF	\$2.59	\$3,887					\$3,887													\$3,887		\$7,775		
C2030	Throughout Building	9597438	Flooring, Carpet, Commercial Standard, Replace	10	5	5	1000	SF	\$8.84	\$8,835				\$8,835											\$8,835					\$17,670		
D2010	Throughout Building	9603289	Sink/Lavatory, Vanity Top, Stainless Steel, Replace	30	16	14	1	EA	\$1,413.60	\$1,414													\$1,414							\$1,414		
D3030	Building Exterior	9597429	Heat Pump, Packaged & Wall-Mounted, Replace	20	16	4	1	EA	\$6,479.00	\$6,479			\$6,479																	\$6,479		
D3050	Throughout Building	9597435	HVAC System, Ductwork, Medium Density, Replace	30	16	14	1000	SF	\$4.71	\$4,712													\$4,712							\$4,712		
D4010	Throughout Building	9597439	Fire Suppression System, Full System Install/Retrofit, Medium Density/Complexity, Install	40	35	5	1000	SF	\$5.89	\$5,890				\$5,890																\$5,890		
D5040	Building Exterior	9597430	Exterior Light, any type, w/ LED Replacement, Replace	20	16	4	2	EA	\$471.20	\$942			\$942																	\$942		
D5040	Throughout Building	9597431	Interior Lighting System, Full Upgrade, High Density & Standard Fixtures, Replace	20	2	18	1000	SF	\$5.89	\$5,890																\$5,890				\$5,890		
D6020	Throughout	9603291	Low Voltage System, Facility-Wide, Phone & Data Lines, Replace	20	16	4	1000	SF	\$1.77	\$1,767			\$1,767																	\$1,767		
D6060	Throughout Building	9597428	Intercom/PA System, Public Address Upgrade, Facility-Wide, Replace	20	16	4	1000	SF	\$1.94	\$1,944			\$1,944																	\$1,944		
D7030	Throughout Building	9597432	Security/Surveillance System, Full System Upgrade, Average Density, Replace	15	10	5	1000	SF	\$2.36	\$2,356				\$2,356														\$2,356		\$4,712		
D7050	Throughout Building	9597424	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	20	16	4	1000	SF	\$3.53	\$3,534			\$3,534																	\$3,534		
E2010	Throughout Building	9603290	Casework, Cabinetry, Standard, Replace	20	16	4	10	LF	\$353.40	\$3,534			\$3,534																	\$3,534		
Totals, Unescalated											\$0	\$0	\$0	\$0	\$18,730	\$20,968	\$0	\$0	\$3,887	\$4,123	\$0	\$0	\$0	\$0	\$19,084	\$8,835	\$0	\$0	\$9,777	\$0	\$6,243	\$91,648
Totals, Escalated (3.0% inflation, compounded annually)											\$0	\$0	\$0	\$0	\$21,081	\$24,308	\$0	\$0	\$4,924	\$5,380	\$0	\$0	\$0	\$0	\$28,866	\$13,765	\$0	\$0	\$16,645	\$0	\$11,276	\$126,245

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Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost*	Subtotal 2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	Deficiency Repair Estimate	
B2010	Building Exterior	9598794	Exterior Walls, any painted surface, Prep & Paint	10	2	8	1100	SF	\$3.53	\$3,887								\$3,887									\$3,887			\$7,775		
B2020	Building Exterior	9598783	Glazing, any type by SF, Replace	30	16	14	200	SF	\$64.79	\$12,958													\$12,958							\$12,958		
B3020	Roof	9598782	Roof Appurtenances, Gutters & Downspouts, Aluminum w/ Fittings, Replace	20	16	4	50	LF	\$10.60	\$530			\$530																	\$530		
C1070	Throughout Building	9598791	Suspended Ceilings, Acoustical Tile (ACT), Replace	25	16	9	1000	SF	\$4.12	\$4,123									\$4,123											\$4,123		
C2010	Throughout Building	9598787	Wall Finishes, Wallpaper, Replace	15	10	5	1500	SF	\$2.59	\$3,887					\$3,887													\$3,887		\$7,775		
C2030	Throughout Building	9603979	Flooring, Vinyl Tile (VCT), Replace	15	10	5	200	SF	\$5.89	\$1,178				\$1,178														\$1,178		\$2,356		
C2030	Throughout Building	9598786	Flooring, Carpet, Commercial Standard, Replace	10	5	5	800	SF	\$8.84	\$7,068				\$7,068										\$7,068						\$14,136		
D2010	Throughout Building	9598799	Sink/Lavatory, Vanity Top, Stainless Steel, Replace	30	16	14	1	EA	\$1,413.60	\$1,414													\$1,414							\$1,414		
D3030	Building Exterior	9598797	Heat Pump, Packaged & Wall-Mounted, Replace	20	16	4	1	EA	\$6,479.00	\$6,479			\$6,479																	\$6,479		
D3050	Throughout Building	9598790	HVAC System, Ductwork, Medium Density, Replace	30	16	14	1000	SF	\$4.71	\$4,712													\$4,712							\$4,712		
D4010	Throughout Building	9598800	Fire Suppression System, Existing Sprinkler Heads, by SF, Replace	25	16	9	1000	SF	\$1.26	\$1,260									\$1,260											\$1,260		
D5040	Building Exterior	9598798	Exterior Light, any type, w/ LED Replacement, Replace	20	16	4	2	EA	\$471.20	\$942			\$942																	\$942		
D5040	Throughout Building	9598792	Interior Lighting System, Full Upgrade, High Density & Standard Fixtures, Replace	20	2	18	1000	SF	\$5.89	\$5,890																\$5,890				\$5,890		
D6060	Throughout Building	9598788	Intercom/PA System, Public Address Upgrade, Facility-Wide, Replace	20	16	4	1000	SF	\$1.94	\$1,944			\$1,944																	\$1,944		
D7030	Throughout Building	9598789	Security/Surveillance System, Full System Upgrade, Average Density, Replace	15	10	5	1000	SF	\$2.36	\$2,356				\$2,356													\$2,356			\$4,712		
D7050	Throughout Building	9598793	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	20	16	4	1000	SF	\$3.53	\$3,534			\$3,534																	\$3,534		
E2010	Throughout Building	9604045	Casework, Cabinetry, Standard, Replace	20	16	4	10	LF	\$353.40	\$3,534			\$3,534																	\$3,534		
Totals, Unescalated											\$0	\$0	\$0	\$0	\$16,963	\$14,489	\$0	\$0	\$3,887	\$5,383	\$0	\$0	\$0	\$0	\$19,084	\$7,068	\$0	\$0	\$9,777	\$0	\$7,421	\$84,074
Totals, Escalated (3.0% inflation, compounded annually)											\$0	\$0	\$0	\$0	\$19,092	\$16,797	\$0	\$0	\$4,924	\$7,024	\$0	\$0	\$0	\$0	\$28,866	\$11,012	\$0	\$0	\$16,645	\$0	\$13,404	\$117,765

Rod Kelley Elementary School / Portable 7

Replacement Reserves Report



8/11/2025

Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost*	Subtotal	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	Deficiency Repair Estimate
D3050	Throughout Building	9598736	HVAC System, Ductwork, Medium Density, Replace	30	16	14	1000	SF	\$4.71	\$4,712															\$4,712						\$4,712	
D4010	Throughout Building	9605031	Fire Suppression System, Full System Install/Retrofit, Medium Density/Complexity, Renovate	40	35	5	1000	SF	\$16.49	\$16,492					\$16,492																\$16,492	
D5040	Building Exterior	9598729	Exterior Light, any type, w/ LED Replacement, Replace	20	16	4	2	EA	\$471.20	\$942				\$942																	\$942	
D5040	Throughout Building	9598739	Interior Lighting System, Full Upgrade, High Density & Standard Fixtures, Replace	20	2	18	1000	SF	\$5.89	\$5,890																		\$5,890		\$5,890		
D6060	Throughout Building	9598733	Intercom/PA System, Public Address Upgrade, Facility-Wide, Replace	20	16	4	1000	SF	\$1.94	\$1,944				\$1,944																	\$1,944	
D7030	Throughout Building	9598726	Security/Surveillance System, Full System Upgrade, Average Density, Replace	15	10	5	1000	SF	\$2.36	\$2,356					\$2,356															\$2,356	\$4,712	
D7050	Throughout Building	9598734	Fire Alarm System, Full System Upgrade, Standard Addressable, Upgrade/Install	20	16	4	1000	SF	\$3.53	\$3,534				\$3,534																	\$3,534	
E2010	Throughout Building	9598737	Casework, Cabinetry, Standard, Replace	20	16	4	10	LF	\$353.40	\$3,534				\$3,534																	\$3,534	
Totals, Unescalated											\$0	\$0	\$0	\$0	\$16,963	\$31,570	\$0	\$0	\$3,887	\$4,123	\$0	\$0	\$0	\$0	\$19,084	\$8,835	\$0	\$0	\$9,777	\$0	\$6,243	\$100,483
Totals, Escalated (3.0% inflation, compounded annually)											\$0	\$0	\$0	\$0	\$19,092	\$36,599	\$0	\$0	\$4,924	\$5,380	\$0	\$0	\$0	\$0	\$28,866	\$13,765	\$0	\$0	\$16,645	\$0	\$11,276	\$136,547

Rod Kelley Elementary School / Site

Uniformat Code	Location Description	ID	Cost Description	Lifespan (EUL)	EAge	RUL	Quantity	Unit	Unit Cost*	Subtotal	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	Deficiency Repair Estimate	
D2010	Site	9606959	Backflow Preventer, Domestic Water, 2 IN, Replace	30	25	5	1	EA	\$3,769.60	\$3,770					\$3,770																	\$3,770	
D4010	Site	9606952	Backflow Preventer, Fire Suppression, 6 IN, Replace	30	25	5	1	EA	\$12,369.00	\$12,369					\$12,369																	\$12,369	
D5020	Site General	9594610	Secondary Transformer, Dry, Stepdown, Replace	30	25	5	1	EA	\$6,361.20	\$6,361					\$6,361																	\$6,361	
F1020	Site Playground Areas	9594666	Covered Play Structure, Light Gauge w/ Fabric Top, Replace	20	15	5	200	SF	\$22.15	\$4,429					\$4,429																	\$4,429	
F1020	Site Sports Fields & Courts	9594617	Ancillary Building, Wood-Framed or CMU, Basic/Minimal, Replace	35	16	19	10000	SF	\$70.68	\$706,800																		\$706,800			\$706,800		
G2020	Site Parking Areas	9594636	Parking Lots, Pavement, Asphalt, Mill & Overlay	25	12	13	50000	SF	\$4.12	\$206,150														\$206,150								\$206,150	
G2030	Sidewalk	9606955	Sidewalk, Asphalt, Replace	25	24	1	2000	SF	\$6.48	\$12,958		\$12,958																				\$12,958	
G2030	Site Parking Areas	9594671	Sidewalk, Concrete, Large Areas, Replace	50	36	14	30000	SF	\$10.60	\$318,060															\$318,060							\$318,060	
G2050	Site	9606954	Athletic Surfaces & Courts, Basketball/General, Asphalt Pavement, Mill & Overlay	25	20	5	8000	SF	\$4.12	\$32,984					\$32,984																	\$32,984	
G2050	Site	9606953	Sports Apparatus, Basketball, Backboard w/ Pole, Replace	25	20	5	6	EA	\$5,595.50	\$33,573					\$33,573																	\$33,573	
G2050	Site Playground Areas	9594608	Playground Surfaces, Engineered Wood Fiber Chips, 3" Depth, Replace	5	1	4	4000	SF	\$1.18	\$4,712				\$4,712					\$4,712					\$4,712				\$4,712				\$18,848	
G2050	Site	9606956	Play Structure, Swing Set, 4 Seats, Replace	20	10	10	2	EA	\$2,945.00	\$5,890										\$5,890													\$5,890
G2050	Site Playground Areas	9594634	Play Structure, Multipurpose, Medium, Replace	20	5	15	1	EA	\$23,560.00	\$23,560															\$23,560								\$23,560
G2050	Site Playground Areas	9594655	Playground Surfaces, Rubber, Poured-in-Place, Replace	20	2	18	4500	SF	\$30.63	\$137,826																		\$137,826					\$137,826
G2050	Site Playground Areas	9594607	Play Structure, Multipurpose, Small, Replace	20	2	18	4	EA	\$11,780.00	\$47,120																		\$47,120					\$47,120
G2060	Site General	9594631	Fences & Gates, Fence, Chain Link 6', Replace	40	36	4	1000	LF	\$24.74	\$24,738				\$24,738																			\$24,738
G2060	Site General	9594647	Park Bench, Metal Powder-Coated, Replace	20	15	5	10	EA	\$824.60	\$8,246					\$8,246																		\$8,246
G2060	Site General	9606958	Fences & Gates, Fence, any Painted Surface, Prep & Paint	10	3	7	1000	SF	\$3.53	\$3,534							\$3,534										\$3,534						\$7,068
G2060	Site General	9594670	Picnic Table, Metal Powder-Coated, Replace	20	10	10	100	EA	\$824.60	\$82,460										\$82,460													\$82,460
G2060	Site General	9594624	Signage, Property, Building or Pole-Mounted, Replace/Install	20	15	5	1	EA	\$1,767.00	\$1,767					\$1,767																		\$1,767
G2060	Site	9606960	Dumpster Enclosure, Masonry (CMU) Walls, 8' High (per LF), Replace	40	36	4	200	LF	\$188.48	\$37,696				\$37,696																			\$37,696
G2080	Site General	9594641	Irrigation System, Pop-Up Spray Heads, Commercial, Replace/Install	20	10	10	30000	SF	\$1.18	\$35,340										\$35,340													\$35,340
G4050	Site	9594669	Site Light Pole, 20' Height, w/o Base or Fixtures, Replace	40	36	4	20	EA	\$2,709.40	\$54,188				\$54,188																			\$54,188
Totals, Unescalated											\$0	\$12,958	\$0	\$0	\$121,334	\$103,499	\$0	\$3,534	\$0	\$4,712	\$123,690	\$0	\$0	\$206,150	\$322,772	\$23,560	\$0	\$3,534	\$184,946	\$711,512	\$0	\$1,822,201	
Totals, Escalated (3.0% inflation, compounded annually)											\$0	\$13,347	\$0	\$0	\$136,562	\$119,984	\$0	\$4,346	\$0	\$6,148	\$166,229	\$0	\$0	\$302,738	\$488,222	\$36,706	\$0	\$5,841	\$314,858	\$1,247,641	\$0	\$2,842,622	

* Markup has been included in unit costs.